

APPLICATION FOR RESOURCE CONSENT

FORM 9: GENERAL APPLICATION

Under Section 88 of the Resource Management Act 1991



APPLICANT

Applicant's Full Name/Company/Trust:

[Redacted]

Contact Name: Katrina and Andrew Towns

Email address*: handy-andy@xtra.co

Postal Address*:

Tick if postal address is preferred method of correspondence*: ☐

Tick if this is the address for invoicing purposes: ☒

Phone numbers: Day

Mobile

* Our default method of corresponding with you is by email and phone. Alternatively, if you wish to receive correspondence by post (including any decision) please provide a postal address and tick the relevant box above.

ADDRESS FOR SERVICE (if different from the applicant)

Company: Perspective Consulting Ltd

Twizel

Contact Name: Mark Geddes

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Tick if this is the address for invoicing purposes: ☐

Phone numbers: Day

Mobile 027 948 65 75

* Our default method of corresponding with you is by email and phone. Alternatively, if you wish to receive correspondence by post (including any decision) please provide a postal address and tick the relevant box above.

DETAILS OF SITE

Street Address: 4 Temple Drive, Twizel.

Legal Description: Lot 3 DP523429

Certificate of Title: 837694

Valuation Number: 2531300776

CONSENT(S) APPLIED FOR – Identify all consents sought from Mackenzie District Council

- | | |
|---|--|
| ☒ Land Use Consent | ☐ Subdivision Consent |
| ☐ Change/Cancellation of Consent Conditions or Consent Notice (s127) | ☐ Extension of Lapse Period of Consent (s125) |
| ☐ Existing Use Right Certificate | ☐ Certificate of Compliance |
| ☐ Outline Plan Approval (s176A) | |

APPLYING FOR FAST-TRACK RESOURCE CONSENT PROCESS

- I am applying for a Controlled Activity Land Use Consent: Yes : ☐ No: ☒
- I have supplied an electronic address for service: Yes: ☒ No: ☐

DESCRIPTION OF THE PROPOSAL

Visitor accommodation. Please refer to the AEE.

OTHER CONSENTS

Is consent required under a National Environmental Standard (NES)? No.

- **NES for Assessing and Managing Contaminants in Soil to Protect Human Health 2012**
You can address the NES for Soil Contaminants by selecting **ONE** of the following (tick):
 - ☐ This application does not involve subdivision (excluding production land), change of land use or removal of (part of) a fuel storage system. Any earthworks will meet section 8(3) of the NES (including volume not exceeding 25m² per 500m³). Therefore the NES does not apply.
 - ☒ I have undertaken a comprehensive review of District and Regional Council records and I have found no record suggesting an activity on the HAIL has taken place on the piece of land which is subject to this application.
 - ☐ I have included a Preliminary Site Investigation undertaken by a suitably qualified person.

☒ I have addressed the NES requirements in the Assessment of Environmental Effects.

▪ Any other National Environmental Standard (tick):

Yes ☐

N/A ☒

Details:

Any additional consent(s) that have been applied for separately (tick)?

▪ Environment Canterbury

Yes ☐

N/A ☒

Details:

INFORMATION REQUIRED TO BE SUBMITTED

To be accepted for processing, your application **must** include the following (tick):

☒

Computer Freehold Register (Certificate of Title) for the site (no more than 3 months old) and copies of any consent notices and covenants
(Can be obtained from www.linz.govt.nz)

☒

A **description of the proposed activity**, and a **description of the site** at which the activity is to occur

☒

A **site plan/s** at a convenient scale showing:

- Location of all existing and proposed buildings and distances to boundaries;
- Location of landscape features including trees and waterways;
- Existing and proposed access points and internal roading;
- Existing and proposed carparking areas;
- Location of existing septic tanks and effluent drainage lines;
- Details of existing and proposed landscaping;
- Location of existing and proposed signs;
- Areas and dimensions of property;
- Roads onto which the property has frontage.

☒

Other plans necessary to detail the proposal e.g. elevations, floor plans, servicing plan.

☒

Consideration of **any person/s who may be adversely affected** by the granting of the consent

☒

A **description of any other activities** that are part of the proposal to which the application relates

- ☒ A description of any other resource consents required for the proposal to which the application relates
- ☒ An assessment of the activity against any relevant provisions of the Mackenzie District Plan
- ☒ An Assessment of Environmental Effects (Please see the separate Resource Consent Application Guide provided by the Mackenzie District Council to determine the information requirements that apply to your application).

Please note that additional information requirements may apply. Please refer to the separate Resource Consent Application Guide provided by the Mackenzie District Council in the first instance. For further enquiries, please contact the Planning staff.

PAYMENT – A deposit fee must be paid prior to or at the time of the application as per Council's Fees and Charges

I/We confirm payment by (tick):

- ☒ Bank transfer to account 03 0887 0226851 02 reference R10821 and the first five letters of applicant name
- ☐ Cheque payable to Mackenzie District Council attached
- ☐ Manual payment at reception – receipt number:

DECLARATION

I hereby certify that, to the best of my knowledge and belief, the information given in this application is true and correct. I undertake to pay all actual and reasonable application costs incurred by the Mackenzie District Council.



Signature*

14 August 2025

Date

Mark Geddes - Perspective Consulting Ltd

Full Name

IMPORTANT

You must include all the information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for two or more resource consents that are needed for the same activity on the same form.

When your application is accepted, you will receive a letter from the Planning team informing you of the application's acceptance. This letter will contain the contact details of the planner who is processing your consent.

The fee paid at the time of lodgement is a deposit fee only. Further costs may be incurred and all actual and reasonable costs will be passed onto the applicant.

Under the fast-track resource consent process the application must be processed in 10 working days, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the Resource Management Act 1991.

Non- fast track, non-notified resource consents must be processed within 20 working days.

Planning staff will contact you if the status of your application changes, or if further information is required.



Mackenzie District Council
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Fairlie, 7987

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Assessment of Effects on the Environment

4 Temple Drive, Twizel
Andrew and Katrina Townsend



perspective

PLANNING | DEVELOPMENT | ENVIRONMENT

perspective.net.nz



General Information

Assessment of effects on the environment prepared in relation to an application to Mackenzie District Council for land use consent.

From

Andrew and Katrina Townsend

Site address

4 Temple Drive, Twizel

Address for Service

Perspective Consulting Ltd

15 Church Street

Timaru 7940

Quality Control

Report for	Andrew and Katrina Townsend
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Draft issued to client on	1 August 2025
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1.0 Introduction

1.1 General

Andrew and Katrina Townsend (**'the applicants'**) seek resource consent from Mackenzie District Council in relation to residential visitor accommodation activity at 4 Temple Drive, Twizel.

1.2 Scope

This report provides an assessment of effects on the environment in accordance with Schedule 4 of the Resource Management Act 1991 (**'RMA'**) in sufficient detail to satisfy the purpose for which it is required and as it corresponds to the scale and significance of the effects that the activity may have on the environment.

2.0 Description of the Site and Environment

The site's address is 4 Temple Drive, Twizel and is legally described as Lot 3 Deposited Plan 523429 held in Record of Title 837694. The property is located approximately 2 km south/west of Twizel's central commercial area, and 1 km north of the Lake Ruataniwha Reserve. The location and extent of the site is indicated in **Figure 1**. A close-up aerial photo of the site is provided by **Figure 2**. The site's Record of Title and consent notice is attached as **Appendix 1**. The consent notice requires onsite stormwater discharges to be to ground and a minimum building platform of 200mm above the road centreline.

The rectangular site has an area of 2,990m². A residential unit was erected on the property in 2020 under BC190237. The plans associated with the residential unit are attached as **Appendix 2**.

Access to the property is from Temple Drive, which is a new road from the intersection with Ostler Road to the west traversing for approximately 2 km until it meets up with Max Smith Drive to the south/east.

Infrastructure services at the site include reticulated water supply and wastewater disposal.

The surrounding area can be generally characterised as an emerging large lot residential area. New development is gradually occurring along Temple Drive. The land directly to the north of Temple Drive is zoned for General Industrial use and is well established. However, the

remaining land to the east, west and south is zoned Large Lot Residential Zone (LLRZ) under the Mackenzie District Plan (MDP).

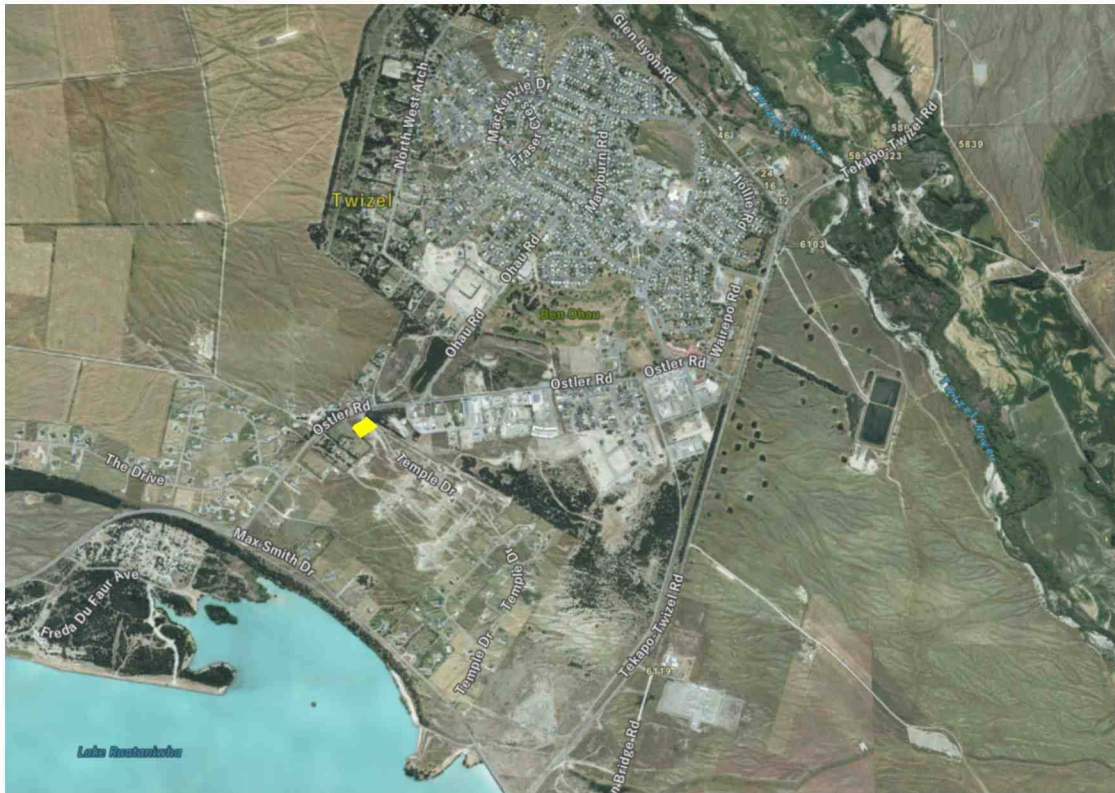


Figure 1 – The site's location is illustrated yellow (Source: Canterbury Maps Viewer).



Figure 2 – A close up aerial photograph of the site. The boundaries of the site are indicated by a dashed line (Source: Mackenzie District Plan).

3.0 Description of the Proposed Activity

Resource consent is sought to enable residential visitor accommodation activities in the site's existing residential unit and the proposed 48m² minor residential unit for a maximum of twelve guests. Plans of both the proposed minor residential unit and the existing residential unit are attached as **Appendix 2**.

The applicants already use the residential unit as a holiday house for themselves, their family and friends (non-fee paying). When it is not utilised in this capacity, and depending on the market and family needs, it is either rented out on a longer-term basis or used for residential visitor accommodation, as a permitted activity.

As the proposed minor residential unit provides for increased occupancy, resource consent is being sought to extend the residential visitor accommodation activities on the site. The combined residential unit and flat can comfortably accommodate twelve people, with ten in the main five-bedroom unit and two in the minor residential unit.

There is a porte cochère joining the two elements of the existing residential unit which is 6m wide and approximately 5m long. This is large enough to accommodate at least two vehicles. There is ample room for additional cars to park on the remainder of the site.

Rubbish and recycling associated with the activity is to be disposed of via the regular Council collection. The cleaning company servicing the property will ensure rubbish and recycling is placed for collection each week.

3.1 Description of other activities

There are no other activities that are part of the proposal for which the application relates.

4.0 Resource Consent Requirements

Resource consent is sought for any consents required to authorise the activities described in the proposal section of this report, including any attached plans and reports, and whether the specific consent requirement have been identified below or not.

4.1 Mackenzie District Plan (MDP)

The property is located in the Large Lot Residential Zone (LLRZ) and is subject to the following overlays:

- Flight Protection Area
- Flood Hazard Assessment (Plan Change 28)

A **Restricted Discretionary** activity resource consent is required under Rule LLRZ-R5.3 of the MDP as the maximum occupancy of a residential unit used for residential visitor accommodation exceeds six guests but does not exceed 12 guests per night.

In terms of permitted activities, the minor residential unit is permitted under Rule LLRZ-R2 as:

- this will be the only minor residential unit on the site
- it is less than 65m², being 48m²
- it is used for the purpose of residential activities.

Residential activities in the house and minor residential unit are classified as a permitted under Rule LLRZ-R4.

NH-R1 of Plan Change 28 now has legal effect and classifies natural hazard sensitive

buildings as a permitted activity if:

- a Flood Hazard Assessment is issued in accordance with Standard NH-S1 and is provided to Council
- the building is located outside of a High Flood Hazard Area as stated in a Flood Hazard Assessment issued in accordance with NH-S1
- the building has a finished floor level equal to or higher than the minimum floor level as stated in a Flood Hazard Assessment issued in accordance with NH-S1.

A flood hazard assessment that meets these requirements and has been provided by Environment Canterbury and is attached as **Appendix 4**. The proposal is therefore classified as a permitted activity in terms of the NH-R1.

Overall, the application is classified as a **Restricted Discretionary** activity under the MDP.

4.3 Other Resource Consents Required

There are no other resource consents required for this activity.

5.0 Statutory Considerations

This section provides a summary of the relevant statutory considerations.

Resource consents are managed under the RMA.

Section 104 RMA lists the relevant matters a consent authority may consider in determining a resource consent application. Relevant to the consideration of this application are:

- part 2 RMA
- actual and potential adverse effects on the environment of allowing the activity
- positive effects on the environment to offset or compensate for any adverse effects and
- any relevant provisions of a statutory planning document
- any other matter the consent authority considers relevant and reasonably necessary to determine the application.

Section 104C RMA states that a consent authority may grant or refuse an application for a restricted discretionary activity, and must only consider or impose conditions over those matters over which:

- (a) a discretion is restricted in national environmental standards or other regulations:
- (b) it has restricted the exercise of its discretion in its plan or proposed plan.

Section 108 and 108A specify requirements for conditions of resource consents.

6.0 Assessment of Effects on the Environment

6.1 Existing Environment

Section 104(1)(a) RMA requires the consent authority to have regard to any actual or potential effects on the 'environment' of allowing the activity. This is a mandatory consideration rather than a discretionary consideration. Caselaw has confirmed that this assessment must involve a comparison of the actual or potential effects of the activity against the 'environment' as modified by:

- a. the effects on the environment as it exists at the present time; and
- b. the future state of the environment as it may be modified by permitted activities; and
- c. the effects of the implementation of any resource consents.

The effects of the environment as they exist at the present time consists of effects associated with the built form on the site and use of the site and surrounding area for residential activities.

The following is noted in respect of the future state of the environment as it may be modified by permitted activities:

- a. A residential unit may be occupied by up to six guests under the MDP residential visitor accommodation Rule LLRZ-R5. This means that the site and every household in the area could have a level of residential visitor accommodation at any time of year or at the same time.
- b. Residential activities including all the extremes of residential activities.
- c. A home business operated in accordance with Rule LLRZ-R6 of the MDP.
- d. Residential buildings are permitted activity on the site in accordance standards.

These permitted activities are realistic and provide a useful comparison to the proposed activity. Council's assessment of the application must compare the effects of the proposal against the adverse effects of what is occurring on the site and what is permitted to occur.

6.2 Permitted Baseline

Section 104(2) RMA provides that a consent authority may disregard an adverse effect of an activity on the environment if a NES or plan permits an activity with that effect. The MDP classifies the occupancy of a residential unit catering for up to six guests as a permitted activity.

The proposal seeks to allow for a maximum occupancy of twelve guests, six above what is permitted by the MDP for residential visitor accommodation.

As the adverse effects of residential visitor accommodation are very similar to residential activities, it is appropriate to compare the adverse effect of the residential activities that can be accommodated on the site to the adverse effects of the proposed residential visitor accommodation activity. The house and minor residential unit can accommodate twelve or more people or more on a permanent (residential) or semi-permanent (rental) basis as a permitted activity. The adverse effects associated with twelve visitor accommodation guests are therefore similar in character and scale to the residential use of the site. However, in terms of intensity of activity, the residential visitor accommodation is likely to be less intensive as it will not likely be occupied year-round like a residential activity generally does.

The main differences between the use of the site for residential visitor accommodation compared with residential activities, is that residential visitor accommodation guests stay for a shorter time, are not part of the local community and are unlikely to form enduring

relationships with neighbours. This permitted baseline therefore provides a useful comparison between the effects of the activities that can occur as of right on the site and the effects of the proposed activity.

6.3 Assessment of Actual and Potential Effects on Environment

6.3.1 General

This section of the report provides an assessment of effects on the environment of allowing the activity. The assessment has been set out below to address the matters under Schedule 4 RMA as framed by the relevant matters of discretion.

6.3.2 The location, design and appearance of buildings on the site.

Both the existing and proposed buildings are well setback from the site's boundaries and are designed in keeping with the character of residential buildings in the area. The existing and proposed building are also built in compliance with the MDP standards and are classified as a permitted activity. Therefore, the built form outcomes associated with the proposal will align with that anticipated character and amenity values of the MDP's Large Lot Density Residential Zone. As such any adverse effects associated with built form on the site are expected to occur and can be dismissed as part of the permitted baseline. Accordingly, any actual or potential adverse effects on the environment from built form are considered to be less than minor.

6.3.3 Traffic and Parking Effects

Access to the site is provided via an existing vehicle crossing. This will also serve the proposed minor residential unit. Three car-parking spaces are provided on the site, being two under the porte cochère and one under the carport of the minor residential unit. All guests will be informed of the access and car parking situation prior to arriving at the site. Given the nature and scale of the proposed activity is similar to the anticipated residential activity, the existing access arrangements are considered to be suitable to serve the needs of the proposed residential visitor accommodation activity. Ample other areas exist on the site for parking and can be utilised as required. It is therefore considered that adequate access will be provided.

No dedicated coach parking is provided for the activity, nor is it considered necessary or encouraged. It is anticipated that most guests will arrive to the site by private vehicle. The proposal is not of a scale that would generate coach activity (with the exception of a van), as tour groups or similar cannot be accommodated within the unit.

Overall, it is concluded that adverse effects on the environment will be less than minor with respect to the vehicle access and parking.

6.3.4 Effects on Neighbours Amenity Values

Providing for residential visitor accommodation is likely to give rise to similar amenity effects as the unit being utilised as a holiday/secondary home by the owners and less effects than what would arise if the property was permanently occupied for residential activities. However, the proposed residential visitor accommodation activity will enable an improvement in amenity effects though the proposed Residential Visitor Accommodation – Activity Management Plan (**Appendix 3**) that will ensure any potential adverse effects on amenity associated with its use will be avoided or minimised. Residential activities are not subject to such management controls.

The proposed Residential Visitor Accommodation – Activity Management Plan will be implemented by a local property manager. The property manager will screen all potential guests ensuring that only appropriate persons stay. Guests must abide by the property rules, which includes no pets, no parties or events. A restriction on the use of outdoor areas will be imposed, such that they cannot be used after 10pm at night. Further, given that Twizel's climate is cold for large parts of the year and it is generally cold at night, it means it will be unlikely that guests will linger outside during these times.

It is proposed that the activity will accommodate a maximum of twelve people. This is based on two people occupying each of the five bedrooms. However, in reality, the site will not be occupied for residential visitor accommodation all the time as visitor numbers fluctuate seasonally. As a result, the proposed residential visitor accommodation use of the site will be less intensive than a residential activity. The residential visitor accommodation activity will therefore be within the anticipated scale and intensity of activities anticipated in the Large Lot Residential Zone. Additionally, as the applicant wishes to retain personal use of the property, and at times rent the property for long-term use, the proposed visitor accommodation activity will not always constitute the predominant use of the site.

It is also anticipated that other residential units within Temple Drive will also be used for residential visitor accommodation.

The activity is therefore considered to be largely compatible with the predominant and anticipated residential character and amenity values of the surrounding area. Accordingly,

any adverse effects in relation to character and amenity values are considered to be less than minor.

6.3.5 Noise

Noise mitigation is addressed by the Residential Visitor Accommodation – Activity Management. In relation to noise, it restricts the playing of music outside, requires residents to go inside after 10pm and limits the number of guests on the property. It also provides neighbours with the contact details of the property manager in the event neighbours experience unacceptable noise. These measures are sufficient to ensure noise from the activity will comply with the MDP standards and as such will have less than minor adverse effects on the environment.

6.3.6 Mitigation Measures

The main mitigation measure is a Residential Visitor Accommodation – Activity Management Plan (AMP) included as **Appendix 3**. In summary, the AMP outlines measures for the property manager to implement including:

- ensuring the number of guests does not exceed twelve
- the rubbish bins are put out for collection and brought back in
- providing contact details to neighbours
- restrictions on the use of outdoor space in the evenings
- restrictions on playing music outdoors
- vehicles are parked on-site and not on the road
- a complaints procedure

These measures are proposed by the applicant to avoid, remedy or mitigate the activity's actual and potential effects on the environment and are considered to be adequate.

6.3.7 Positive Effects

It is considered that the proposal will have positive effects on the environment by:

- increasing the amount of accommodation in the Twizel area
- attracting additional people to the district
- providing local employment in relation to industries that serve visitors and visitor accommodation either directly or indirectly
- provide increased accommodation for the applicant's use
- increasing the extent the applicants can fund the property.

6.3.8 Cumulative effects

It is considered that the effects of the proposal will not add cumulatively together or with other off-site effects.

6.3.9 Identification of persons affected by the activity

Taking into account the above assessment, it is considered that any actual or potential adverse effects on other persons will be less than minor.

6.3.10 Monitoring

Clause 6(1)(g) Schedule 4 RMA indicates when monitoring will be required stating that:

“if the scale and significance of the activity’s effects are such that monitoring is required, a description of how and by whom the effects will be monitored if the activity is approved”

The scale and significance of the activity’s effects are such that monitoring should not only be required once by Mackenzie District Council. The reason for this is that the scale and significance of the activity effects on the environment are likely to be less than minor

7.0 Assessment of Statutory Planning Documents

The relevant statutory planning documents under section 104(1)(b) RMA are considered below. There are no other documents under section 104(1)(b) RMA that are considered pertinent to the consideration of this application.

7.1 Mackenzie District Plan

This section of the report assesses the proposal against the relevant objectives and policies of the MDP.

The strategic directions chapter is relevant and contains strategic objectives that seek in summary to:

- Make the Mackenzie District a desirable place to live, work, play and visit, where:
 - there are a range of living options, businesses, and recreation activities to meet community needs

- activities that are important to the community’s social, economic and cultural well-being, including appropriate economic development opportunities, are provided for
- the anticipated amenity values and character of different areas are maintained or enhanced.
- The location and effects of activities are managed to:
 - minimise conflicts between incompatible activities
 - protect important existing activities from reverse sensitivity effects.
- The District’s townships and settlements grow and develop in a consolidated way that respond to the needs of the community, including diversity in housing and business opportunities.

The proposal is consistent with these strategic objectives by:

- Providing for a range of living options (being holiday home, rental, visitor accommodation) and businesses (visitor accommodation/rental) that support community need.
- Providing for activities that are important to the social economic well-being (being holiday home, rental, visitor accommodation).
- Providing an appropriate economic development opportunity by providing for a visitor accommodation business.
- Maintaining the character of the area by utilising an existing residential unit and by ensuring the minor residential unit has a residential character.
- Minimising conflicts between incompatible activities by ensuring the visitor accommodation is located central within the site and offering a management plan to manage effects.

Accordingly, it is considered the proposal is consistent with the MDC Strategic Directions chapter.

The LLRZ contains the following objectives and policies:

Objectives	
LLRZ-01	Zone Purpose

The Large Lot Residential Zone provides primarily for residential living opportunities, and other non-residential activities that support and are consistent with the character and amenity values of the zone.	
LLRZ-O2	Zone Character and Amenity Values
The Large Lot Residential Zone is a desirable low density living environment, which: 1. contains predominantly detached residential units on large lots; 2. maintains a predominance of open space over built form; and 3. provides on-site amenity and maintains the spacious character and amenity values of adjacent sites.	
Policies	
LLRZ-P1	Residential Activities
Enable residential activities within a range of residential unit types and sizes.	
LLRZ-P2	Compatible Activities
Provide for activities other than residential activities, where: 1. they are ancillary to a residential activity or are consistent with the character, amenity values and purpose of the zone; 2. they service the local community and do not detract from the character, amenity values or purpose of the Neighbourhood Centre or Town Centre Zone; 3. the effects of the activity including its scale, hours of operation, parking and vehicle manoeuvring are compatible with the amenity values of adjacent sites; and 4. there is a functional need or operational need to establish in the zone.	
LLRZ-P3	Workers Accommodation
Provide for workers accommodation which exceeds the density requirements, where: 1. the scale and design of the workers accommodation maintains the character and amenity values of the surrounding area; 2. sufficient parking and servicing is provided on-site; 3. parking and vehicle manoeuvring areas are appropriately designed; and 4. road safety and efficiency is maintained.	
LLRZ-P4	Other Non-Residential Activities
Avoid non-residential activities and buildings not provided for in LLRZ-P2, unless: 1. any adverse effects of the activity do not compromise the amenity values of the surrounding area; and	

2. the nature, scale and intensity of the activity is compatible with the character and purpose of the zone.	
LLRZ-P5	Adverse Effects
Manage development within the Large Lot Residential Zone to ensure: 1. built form is of a scale and design that is compatible with the character, amenity values and purpose of the zone; 2. larger lot sizes are retained in areas subject to servicing constraints in Specific Control Areas 1 and 2, until such time appropriate services are in place; 3. a predominance of open space over built form is maintained; and 4. the potential for reverse sensitivity effects to arise in relation to adjoining industrial areas is minimised.	

It is considered that the proposal is consistent with the above objectives and policies by:

- In terms of LLRZ-O1, it is a non-residential activity that supports and is consistent with the character and amenity values of the zone.
- In terms of LLRZ-O2 and LLRZ-P5, it maintains the anticipated character and amenity values of the zone by:
 - consisting of predominantly detached residential units on a large lot
 - maintaining a predominance of open space over built form
 - providing on-site amenity and maintaining the spacious character and amenity values of adjacent sites.
- In terms of LLRZ-P2 and P4 the proposal:
 - provides for an activity (visitor accommodation) that is ancillary to a residential activity by providing a means to finance the applicant's residential use of the property.
 - provides services to the local community by providing visitor accommodation services to their visiting friends, families and businesses.
 - does not detract from the character, amenity values or purpose of the Neighbourhood Centre or Town Centre Zone.
 - ensures that its effects including its scale, parking and vehicle manoeuvring are compatible with the amenity values of adjacent sites.
 - is consistent and compatible, with the character, amenity values of the surrounding area and purpose of the zone.

Overall, it is considered the proposal is consistent with the relevant objectives and policies of the LLRZ.

The MDP limits the matters of discretion in relation to the activity to:

- The location, design and appearance of buildings on the site.
- The traffic impacts including the provision of adequate onsite parking.
- Effects on amenity values of adjoining residential sites including noise.
- The adequacy of any mitigation measures.

These matters have been addressed in this report assessment of effects on the environment.

In summary, it is considered that the proposal aligns with the MDP.

8.0 Part 2 RMA (Purpose and Principles)

Part 2 of the RMA is not permanent in this instance as the MDP has been competently prepared and is complete.

9.0 Other Matters

There are no other relevant matters.

10.0 Consultation

No consultation is required, and no consultation has been conducted.

11.0 Notification Assessment

The application should not be publicly notified on the basis that:

- the applicant has not requested public notification of the application
- public notification is not required following a request for further information
- the application has not been made jointly with an application to exchange reserve land
- the activity will not have adverse effects on the wider environment that are more than minor
- no special circumstances apply.

The application should not be limited notified on the basis that:

- there are no affected protected customary rights groups or customary marine title groups

- the activity is not on or adjacent to or may affect land that is subject to a statutory acknowledgement area and there are no affected persons to whom the statutory acknowledgement has been made
- the activity will not have adverse effects on person that are minor or more than minor
- no special circumstances apply.

Accordingly, the application should be processed on non-notified basis.

12.0 Adequacy of Information

Section 104(6) of the RMA states that a consent authority may decline an application for a resource consent on the grounds that it has inadequate information to determine the application. It is considered that the AEE and this accompanying information provides adequate information for the consent authority to determine the application.

13.0 Conclusion

The application proposes to enable residential visitor accommodation activities on the site. A restricted discretionary activity consent is required under the Mackenzie District Plan.

This report's assessment found that:

- any adverse effects of allowing the activity are less than minor
- the relevant statutory planning documents support the proposal
- there are no other relevant matters relevant to determine the application
- the proposal aligns with relevant matters of Part 2 RMA
- there is adequate information to determine the application
- the application should be processed on a non-notified basis.

We request that draft conditions are provided to Perspective Consulting Ltd for comment before the consent is issued.

Appendix 1 – Record of Title & Consent Notice



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

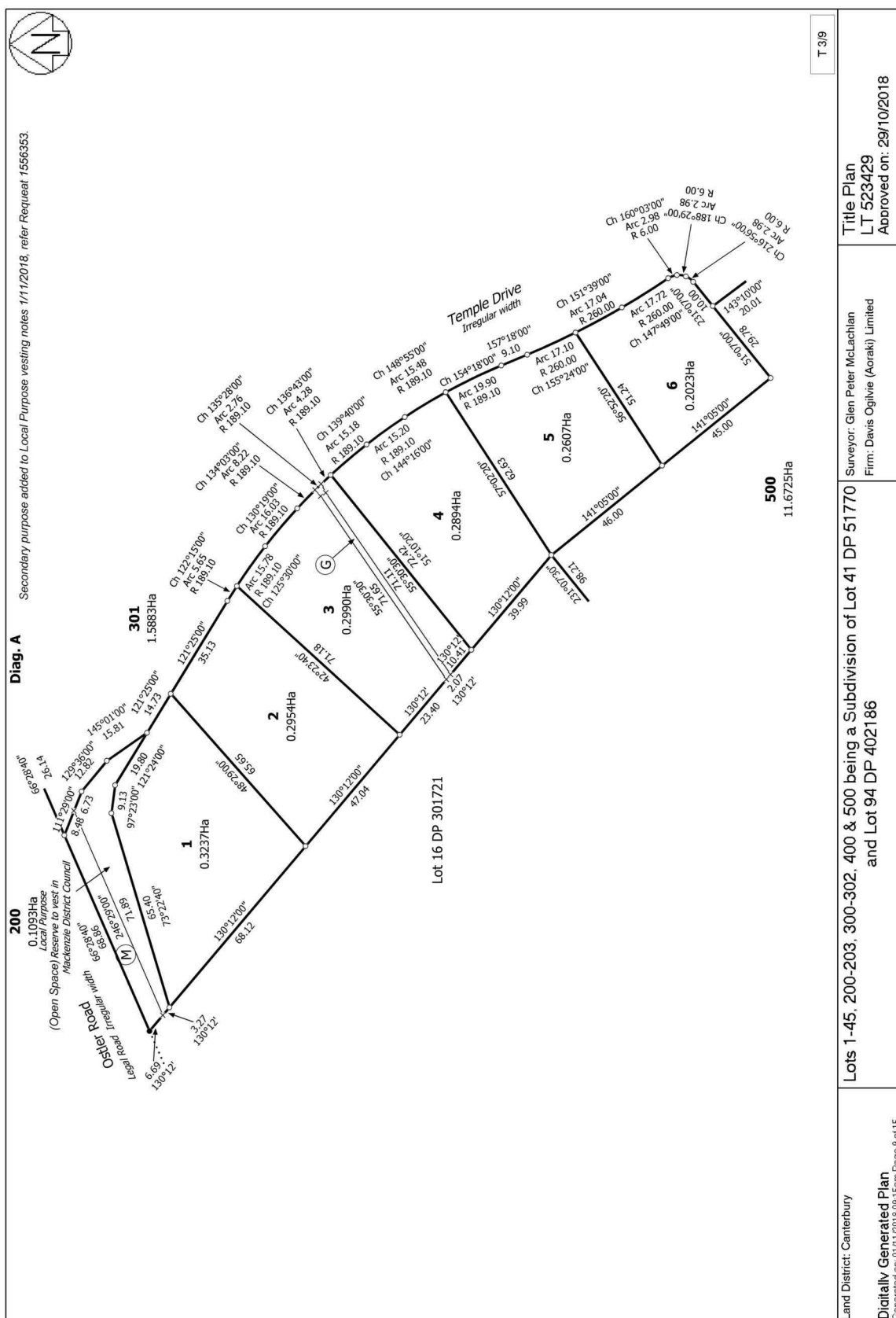
Identifier 837694
Land Registration District Canterbury
Date Issued 17 October 2018

Prior References
755581

Estate Fee Simple
Area 2990 square metres more or less
Legal Description Lot 3 Deposited Plan 523429
Registered Owners
Andrew Phillip Townsend and Katrina Heather Townsend

Interests

Subject to Part IV A Conservation Act 1987
Subject to Section 11 Crown Minerals Act 1991
Land Covenant in Transfer 5420545.4 - 3.12.2002 at 9:00 am
Land Covenant in Transfer 5420545.5 - 3.12.2002 at 9:00 am
11173621.14 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 17.10.2018 at 3:21 pm
Subject to a right to convey water (in gross) over part marked G on DP 523429 in favour of the Mackenzie District Council created by Easement Instrument 11173621.16 - 17.10.2018 at 3:21 pm
The easements created by Easement Instrument 11173621.16 are subject to Section 243 (a) Resource Management Act 1991
Land Covenant in Easement Instrument 11173621.19 - 17.10.2018 at 3:21 pm (Limited as to Duration)
11475160.2 Mortgage to ANZ Bank New Zealand Limited - 4.7.2019 at 10:22 am



View Instrument Details



Instrument No 11173621.14
Status Registered
Date & Time Lodged 17 October 2018 15:21
Lodged By McKay, Angela Jean
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Computer Registers	Land District
837692	Canterbury
837693	Canterbury
837694	Canterbury
837695	Canterbury
837696	Canterbury
837697	Canterbury
837698	Canterbury
837699	Canterbury
837700	Canterbury
837701	Canterbury
837702	Canterbury
837703	Canterbury
837704	Canterbury
837705	Canterbury
837706	Canterbury
837707	Canterbury
837708	Canterbury
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837710	Canterbury
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837734	Canterbury

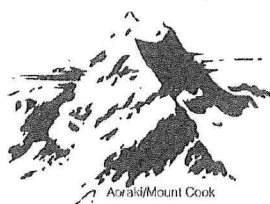
Affected Computer Registers	Land District
837735	Canterbury
837736	Canterbury
837737	Canterbury
837738	Canterbury

Annexure Schedule: Contains 1 Page.

Signature

Signed by Angela Jean McKay as Territorial Authority Representative on 17/10/2018 11:45 AM

***** End of Report *****



Mackenzie District Council

CONSENT NOTICE

In the matter of the subdivision of Lot 2 DP 501629, Lot 94 DP 402186 and Lot 41 DP 51770:

Pursuant to section 221 of the Resource Management Act 1991, a consent notice shall be registered on the certificates of title for Lots 1 - 45 being defined on Deposited Plan 523429 requiring that the following conditions of subdivision consent RM170079 be complied with on an ongoing basis:

1. Primary stormwater from within each individual allotment shall be discharge to ground. The design of each stormwater system and infiltration system shall be in accordance with the New Zealand Building Code and be undertaken by a suitably qualified and experienced person. The design of the stormwater system shall be submitted with the building consent for approval under the Building Act 2004.
2. The road network has been designed and constructed to act as a secondary flow path to convey up to and including a 1% Annual Exceedance Probability (AEP) flood event. Notwithstanding any other regulatory requirements, all building platforms shall be a minimum of 200 millimetres (mm) above the road centreline level measured perpendicular to the centre of the individual allotment.

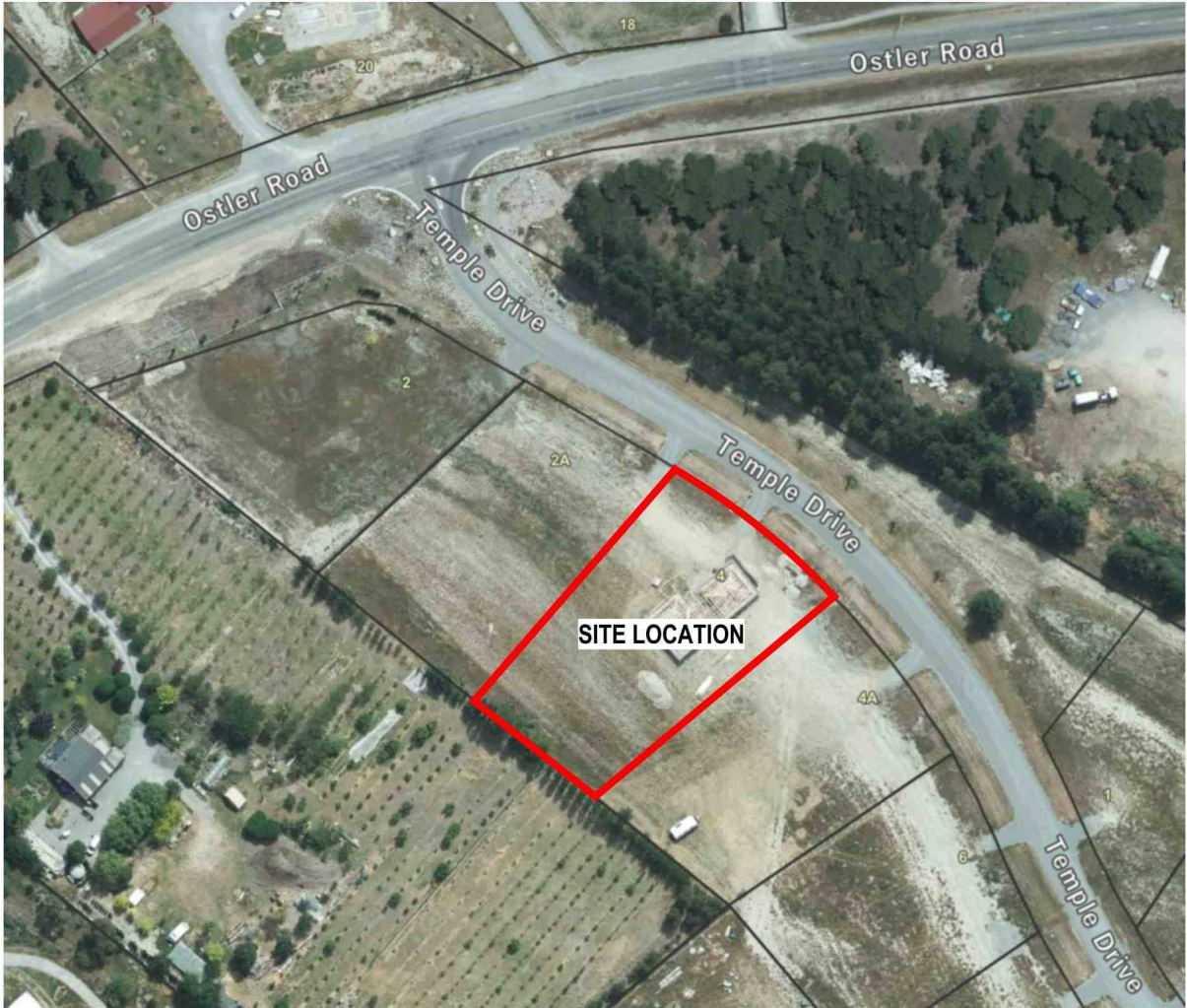
Dated at Fairlie this 10th day of October 2018

KARINA MORROW
AUTHORISED OFFICER

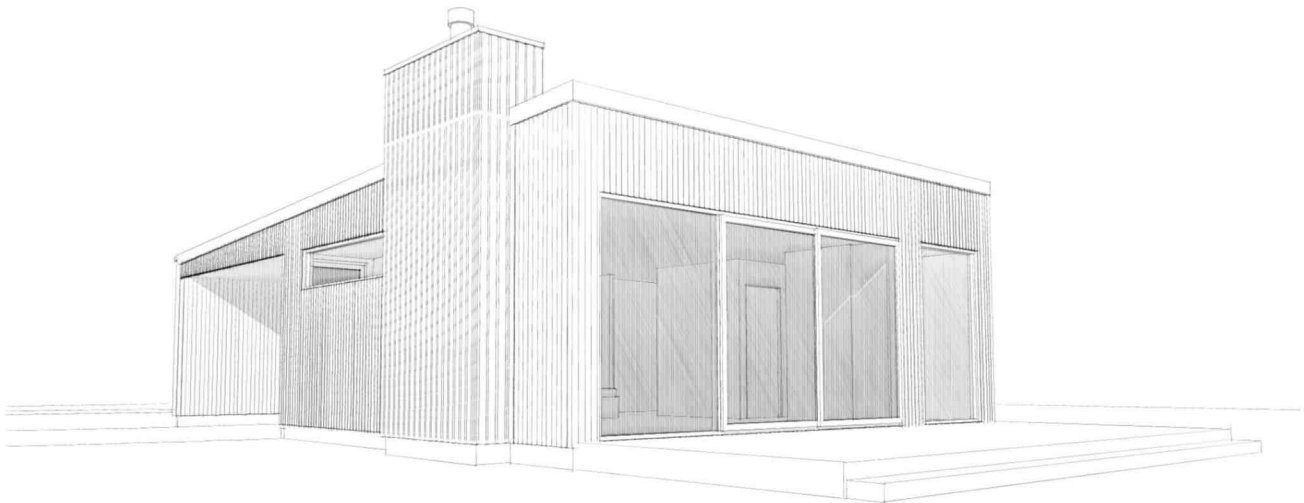
Appendix 2 – Plans

DOCUMENT CONTENTS:

A1	GENERAL
A101	COVER PAGE
A102	GENERAL NOTES
A2	PLANS
A201	SITE PLAN
A202	PROPOSED SLAB PLAN, FLOOR PLAN, ROOF PLAN
A3	ELEVATIONS
A301	ELEVATIONS
A4	CROSS SECTIONS
A401	CROSS SECTION A-A
A5	CONSTRUCTION DETAILS
A501	CONSTRUCTION DETAILS
A502	CONSTRUCTION DETAILS
A503	CONSTRUCTION DETAILS
A6	SCHEDULES
A601	DOOR AND WINDOW SCHEDULES



LOCATION PLAN
NOT TO SCALE



DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS AND SITE LEVELS MUST BE CONFIRMED ON SITE BEFORE THE BUILD COMMENCES.

REA
ARCHITECTURE



reaarchitecture.co.nz
contact@reaarchitecture.co.nz
021 87 56 87

CLIENT: TOWNSEND
ADDRESS: 4 TEMPLE DRIVE, TWIZEL
DRAWING: COVER PAGE

DATE: 12 JUNE 2025
SCALE: AS SHOWN ON A3
SHEET **A101**

SITE DETAILS

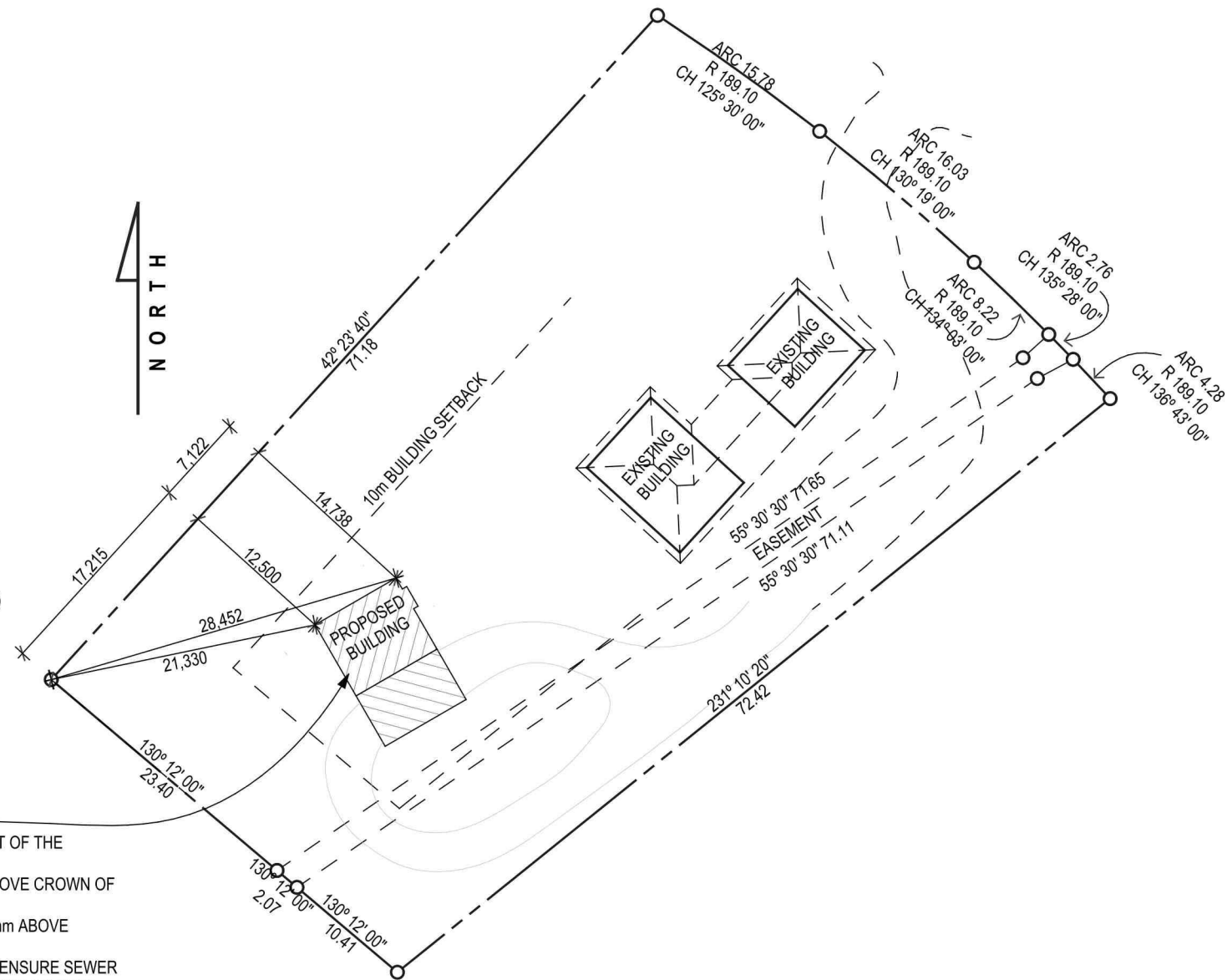
Site Address: 4 Temple Drive, Twizel
Legal Description: Lot 3 DP 523429
Valuation Number: 25313 00776
Parcel ID: 7921147
Site Area: 2990 m²

Region: Mackenzie District Council
Zone: Large Lot Residential Zone (LLRZ)

Climate Zone: 6
Earthquake Zone: Zone 2
Exposure Zone: Zone B
Lee Zone: Yes
Rainfall Range: 30 - 40
Wind Region: A
Wind Zone: Specific Engineering Design

FLOOR HEIGHT SETOUT

SLAB HEIGHT TO BE SET TO HIGHEST OF THE BELOW REQUIREMENTS;
- FLOOR LEVEL TO BE 150mm MIN ABOVE CROWN OF ROAD.
- FLOOR LEVEL TO BE MINIMUM 225mm ABOVE FINISHED GROUND HEIGHT.
- FLOOR LEVEL HEIGHT SET OUT TO ENSURE SEWER FALLS TO STREET CONNECTION. DRAINLAYER TO CONFIRM REQUIRED HEIGHT ON SITE PRIOR TO ANY CONSTRUCTION.



DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS AND SITE LEVELS MUST BE CONFIRMED ON SITE BEFORE THE BUILD COMMENCES.

REA
ARCHITECTURE



reaarchitecture.co.nz
contact@reaarchitecture.co.nz
021 87 56 87

CLIENT: TOWNSEND
ADDRESS: 4 TEMPLE DRIVE, TWIZEL
DRAWING: SITE PLAN

DATE: 12 JUNE 2025
SCALE: AS SHOWN ON A3
SHEET **A201**

SLAB HEIGHT TO BE SET TO HIGHEST OF THE BELOW REQUIREMENTS;

- FLOOR LEVEL TO BE 150mm MIN ABOVE CROWN OF ROAD.
- FLOOR LEVEL TO BE MINIMUM 225mm ABOVE FINISHED GROUND HEIGHT.
- FLOOR LEVEL HEIGHT SET OUT TO ENSURE SEWER FALLS TO STREET CONNECTION. DRAINLAYER TO CONFIRM REQUIRED HEIGHT ON SITE PRIOR TO ANY CONSTRUCTION.

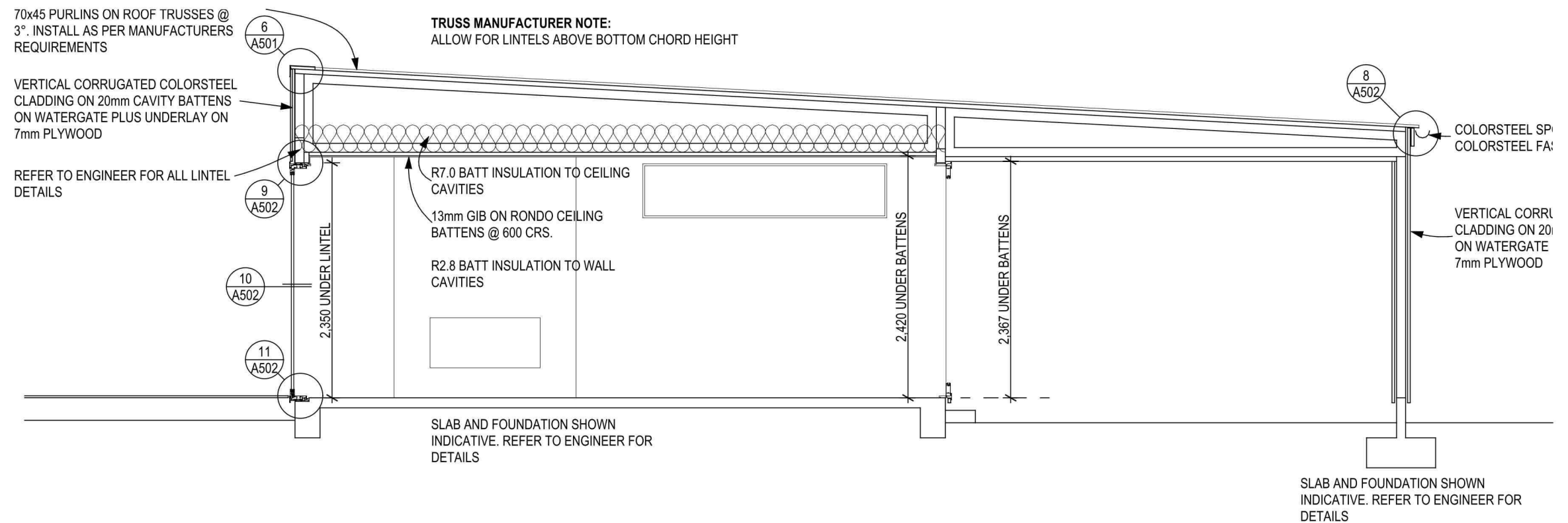


FLOOR PLAN
SCALE 1:100



REA
ARCHITECTURE

CLIENT: TOWNSEND DATE: 12 JUNE 2025
ADDRESS: 4 TEMPLE DRIVE, TWIZEL SCALE: AS SHOWN ON A3
DRAWING: SLAB, FLOOR & ROOF PLANS SHEET **A202**



CROSS SECTION A-A
SCALE 1:50

DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS AND SITE LEVELS MUST BE CONFIRMED ON SITE BEFORE THE BUILD COMMENCES.

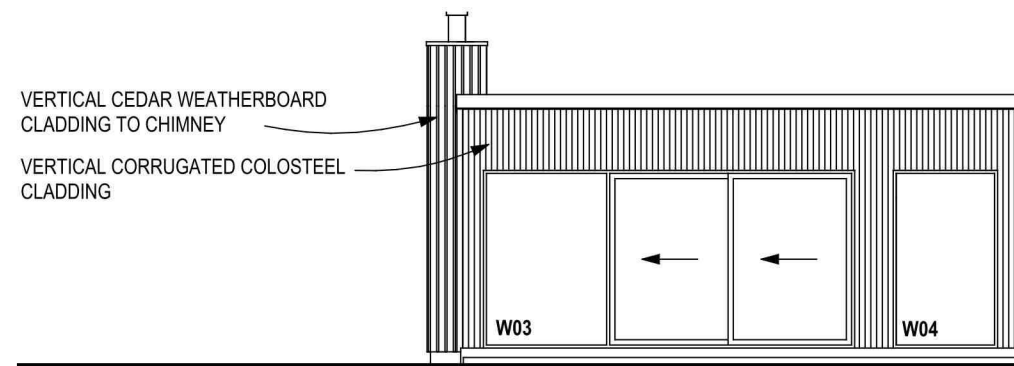
REA
ARCHITECTURE



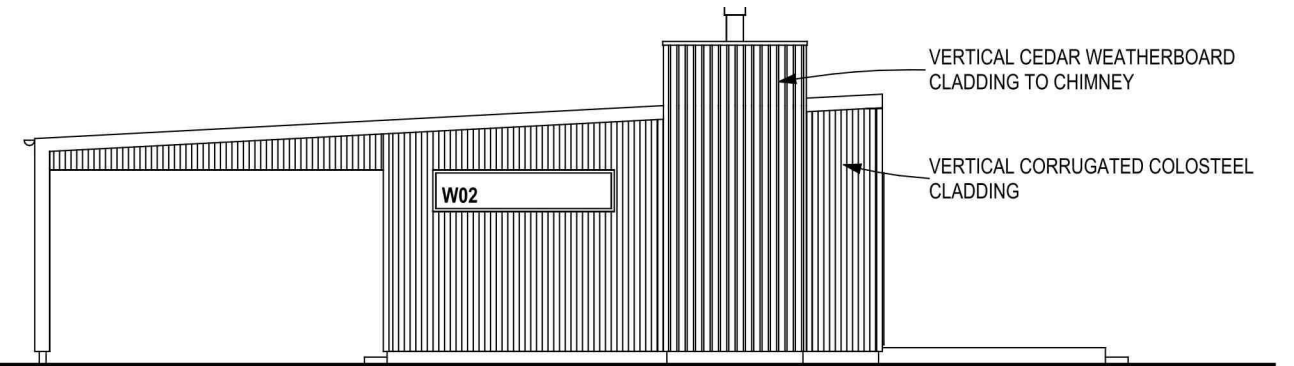
reaarchitecture.co.nz
contact@reaarchitecture.co.nz
021 87 56 87

CLIENT: TOWNSEND
ADDRESS: 4 TEMPLE DRIVE, TWIZEL
DRAWING: SECTIONS

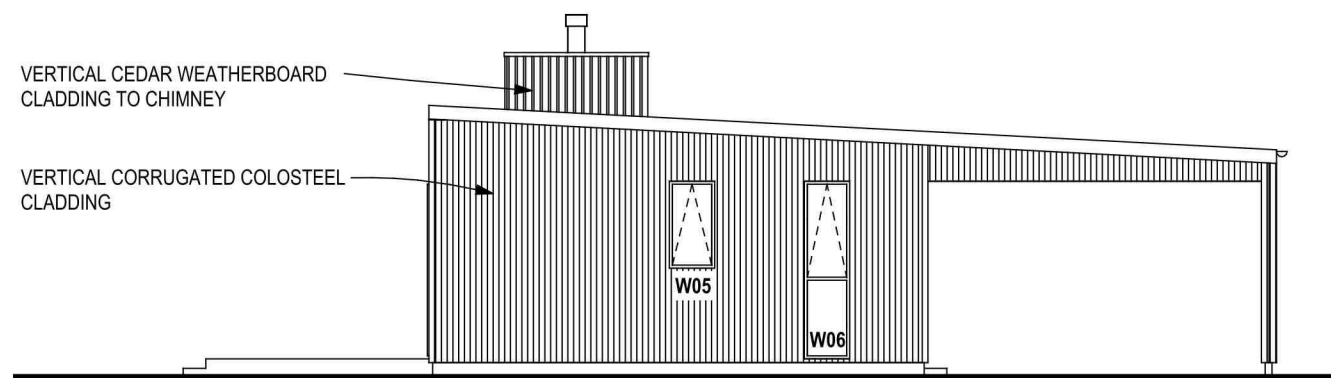
DATE: 12 JUNE 2025
SCALE: AS SHOWN ON A3
SHEET **A301**



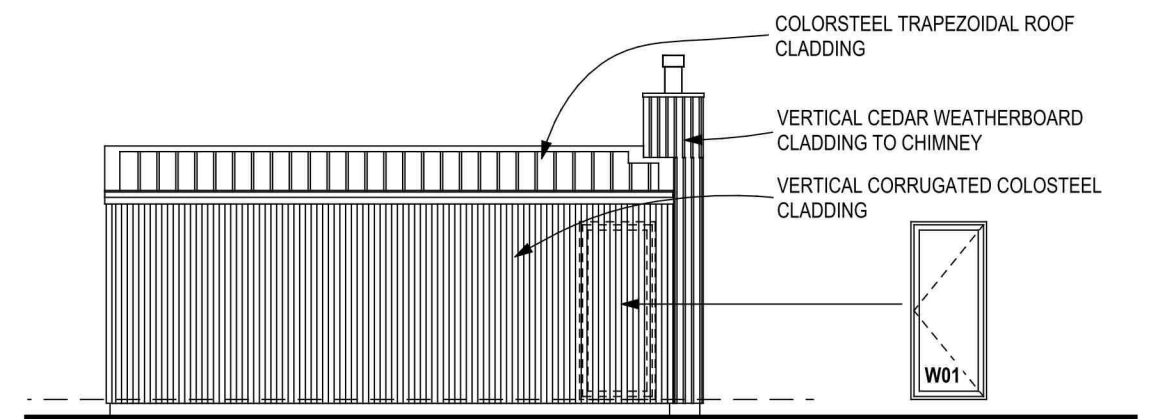
NORTHWEST ELEVATION



NORTHEAST ELEVATION



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

ELEVATIONS

SCALE 1:100

DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS AND SITE LEVELS MUST BE CONFIRMED ON SITE BEFORE THE BUILD COMMENCES.

REA
ARCHITECTURE



reaarchitecture.co.nz
contact@reaarchitecture.co.nz
021 87 56 87

CLIENT: TOWNSEND
ADDRESS: 4 TEMPLE DRIVE, TWIZEL
DRAWING: ELEVATIONS

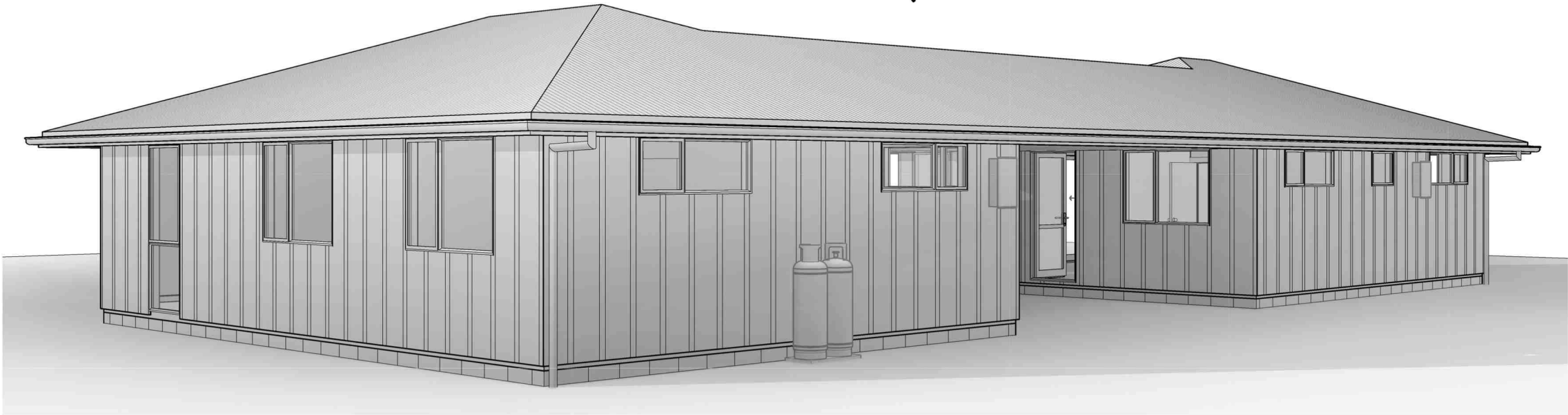
DATE: 12 JUNE 2025
SCALE: AS SHOWN ON A3
SHEET **A401**

PROPOSED NEW DWELLING
4 Temple Drive, Twizel

J B H Draughting Ltd.
Cell | 0226073408
Email | jbhdraughting@hotmail.co.nz



'Always check the LBP Register to ensure
you building practitioner is licensed'.



DRAWING LEGEND	
SHT	SHEET NAME
01	SITE & DRAINAGE
02	FLOOR PLAN
03	ELEVATIONS
04	FOUNDATION PLAN
05	FOUNDATION DETAILS
06	ROOF PLAN
07	ROOF FLASHING DETAILS
08	BRACING PLAN
09	PLUMBING PLAN
10	PLUMBING NOTES
11	DRAINS IN GROUND
12	SECTION
13	STRUCTURE DETAILS
14	DURABILITY NOTES
15	CLADDING DETAILS
16	WET AREA DETAILS
17	JOINERY SCHEDULE

Wind Zone -	Extra High Wind Zone	Legal Description:	Lot 3 DP 523429
Exposure Zone -	B	Site Address:	4 Temple Drive, Twizel
Earthquake Zone -	2	Valuation Number:	25313 00776
Snow Zone -	N4	Site Area:	2990 m ²
Snow Loading -	Sg2.5 kPa	Zone:	Residential 3
Altitude -	470m - ASL	Region:	Mackenzie District Council

GENERAL NOTES:
No construction work is to commence until the related building Consent has been obtained. All dimensions & service locations to be checked onsite before commencement of all work. Confirm all Site levels, Floor heights and Site Boundaries before commencement of earthworks. Ground bearing to be confirmed onsite after excavation and before building starts.
PLANS TO BE READ IN CONJUNCTION WITH PROJECT SPECIFICATION.

F5 - WORK SITE BARRIERS.
If the work site is not completely enclosed, and unauthorized entry by children is likely, allow for site fencing when workers are absent from the immediate vicinity. Allow for 2m min high site fence to proposed building perimeter over duration of construction in accordance with Compliance Document Clause F5 of the NZBC. Allow for toeboards to access and storage platforms, toeboards to be 100min above the platform height (10mm max gap between the platform & toeboard), and no lower than the materials stacked on them unless the materials are restrained from falling.

Proposed NEW DWELLING for
Andy Townsend,
Address: 4 Temple Drive, Twizel

Mackenzie District Council
Planning Unit
APPROVED
27/11/2019

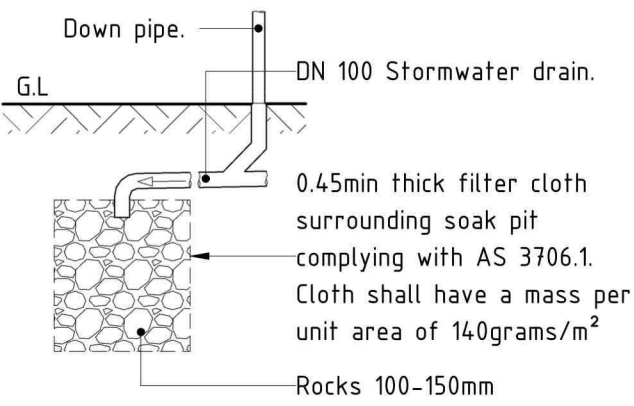
Approved - BC 190237 | Mackenzie District Council



STORMWATER DRAINAGE NOTES:

Storm Water Drains - DN 100 uPVC, min 1:120 gradient, to NZBC E1/AS1. Drainage work must met durability requirements of NZBC B2/AS1. All pipework shall be from approved uPVC Pipes bends, junctions, fittings and joints to AS/NZS 1260, AS/NZS 1254 & joined to AS 1646, AS/NZS 2032 & AS/NZS 1254. Discharge Storm water to Soak Pit.

Drains must be laid on a uniform line and gradient between points of access, where practical change in direction to be kept less than 45 degrees, but shall not exceed 90 degrees. Where two drains intersect the direction of flow shall be at 60 degrees or less, and where practical at less than 45 degrees. Rodding points shall be installed at 50.0m max intervals, change of direction or where gradient exceeds 45 degrees, and for junctions in drains other than a drain that serves a single downpipe that is less than 2.0m long.



SOAK PIT DETAIL
Scale 1:50

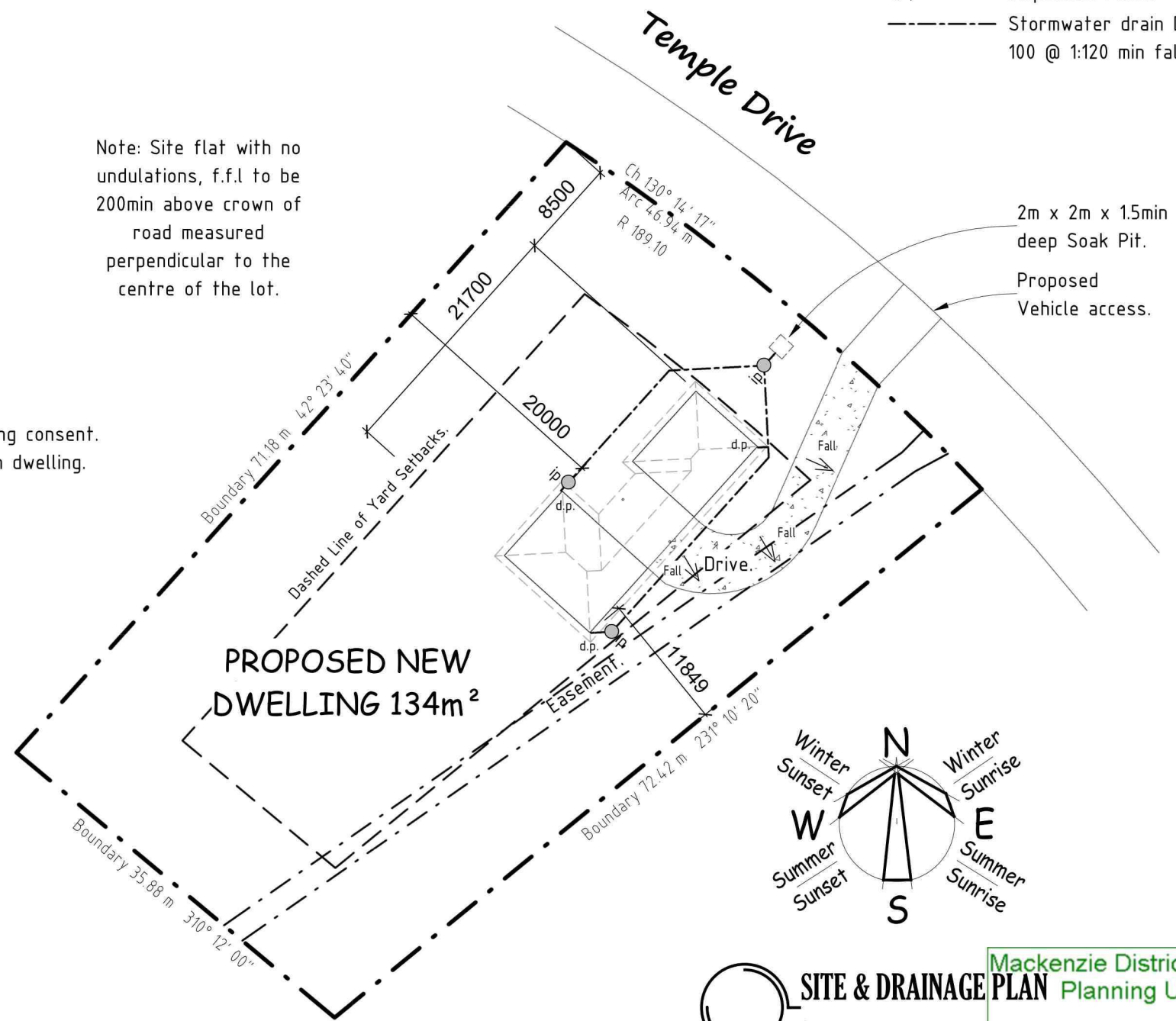
- Wind Zone - Extra High Wind Zone
- Exposure Zone - B
- Earthquake Zone - 2
- Snow Zone - N4
- Snow Loading - Sg2.5 kPa
- Altitude - 470m - ASL
- Legal Description: Lot 3 DP 523429
- Site Address: 4 Temple Drive, Twizel
- Valuation Number: 25313 00776
- Site Area: 2990 m²
- Zone: Residential 3
- Region: Mackenzie District Council

J B H Draughting Ltd.
Cell | 0226073408
Email | jbhdraughting@hotmail.co.nz

Proposed NEW DWELLING for
Andy Townsend,
Address: 4 Temple Drive, Twizel

DRAINAGE LEGEND

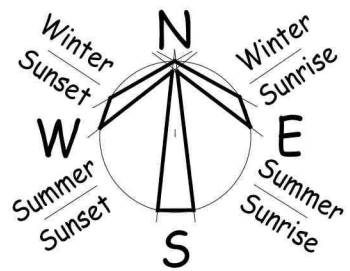
- d.p. Downpipe.
- ip Inspection Point.
- Stormwater drain DN 100 @ 1:120 min fall.



Note: Site flat with no undulations, f.f.l to be 200min above crown of road measured perpendicular to the centre of the lot.

RFI Notes:

- 1 - Gas works not part of building consent.
- 2 - Drive to have fall away from dwelling.



SITE & DRAINAGE PLAN
Scale 1:500

Mackenzie District Council
Planning Unit
APPROVED
27/11/2019

Project : PROPOSED NEW DWELLING for Client : Andy Townsend Address : 4 Temple Drive, Twizel	JOB # : Lot3_Temple	Drw Name : SITE & DRAINAGE			Builder:	Client:
	Drawn By : LBP 113870	DATE : AUG 2019	NOTE : do not scale from this drawing.	SCALE @ A3 Sht. As indicated	REV # A	DRW # 01

Approved - BC 190237 | Mackenzie District Council

50mm 100mm Original Scale

PLUMBING LEGEND

Code	Description	Model
S	Kitchen Sink	Proprietary
SHR1	Acrylic shower	1000x1000mm
Tub	Laundry Tub	Proprietary
V	Vanity	900x400mm
WC	Toilet	S Trap
WM	Washing Machine	Proprietary

JOINERY SCHEDULE

Mark	Width	Height	Lintels
W01	940 mm	2200 mm	140x90 GL8
W02	900 mm	2200 mm	140x90 GL8
W03	2800 mm	2200 mm	290x90 GL8
W04	1200 mm	600 mm	140x90 GL8
W05	1600 mm	1200 mm	140x90 GL8
W06	1600 mm	600 mm	190x90 GL8
W07	800 mm	600 mm	140x90 GL8
W08	1600 mm	600 mm	190x90 GL8
W09	1600 mm	1200 mm	140x90 GL8
W10	940 mm	2200 mm	240x90 GL8
W11	800 mm	600 mm	140x90 GL8
W12	1600 mm	600 mm	140x90 GL8
W13	1600 mm	600 mm	140x90 GL8
W14	1600 mm	1200 mm	190x90 GL8
W15	1600 mm	1200 mm	190x90 GL8
W16	900 mm	2200 mm	140x90 GL8
W17	2800 mm	2200 mm	240x90 GL8
W18	1200 mm	600 mm	190x90 GL8
W19	1600 mm	600 mm	140x90 GL8

SMOKE ALARMS:

☉ - Smoke Alarm.
Purpose Group SH - Escape route Dead ends do not exceed 25m, Open paths do not exceed 60m
Install Type 1 Smoke alarms with Hush facility in every sleeping space, or within 3m of every sleeping space door. Smoke alarms shall be direct fixed to ceiling in accordance with AS 4514 and the manufacturers specifications.

DOWNLIGHTS -

Recessed luminaries (a complete lighting unit) to be IC-F, IC, CA-80 or CA-135 rated as specified in AS/NZS 60598.2.2. & Installed to AS/NZS 60598.2.2.

FINISHES NOTES:

Kitchen Bench Tops - High Pressure Laminate.
Food Storage Cabinets - Melamine.
Oven Type - Electric Oven.
Impervious Floor Coverings -
Kitchen, Ensuite, Bathroom, Toilet & Laundry to have Exposed Concrete with trowel finish, Vinyl or Tile finish.

ELECTRICAL LEGEND

☉ - Smoke Alarm with test & Hush facility.

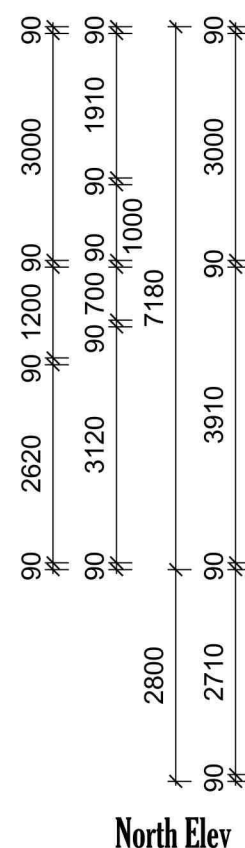
MB - Meterbox.

Mackenzie District Council
Planning Unit

APPROVED

27/11/2019

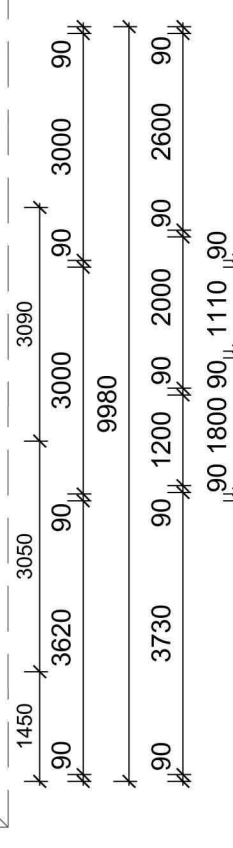
03 East Elev



North Elev



03 South Elev



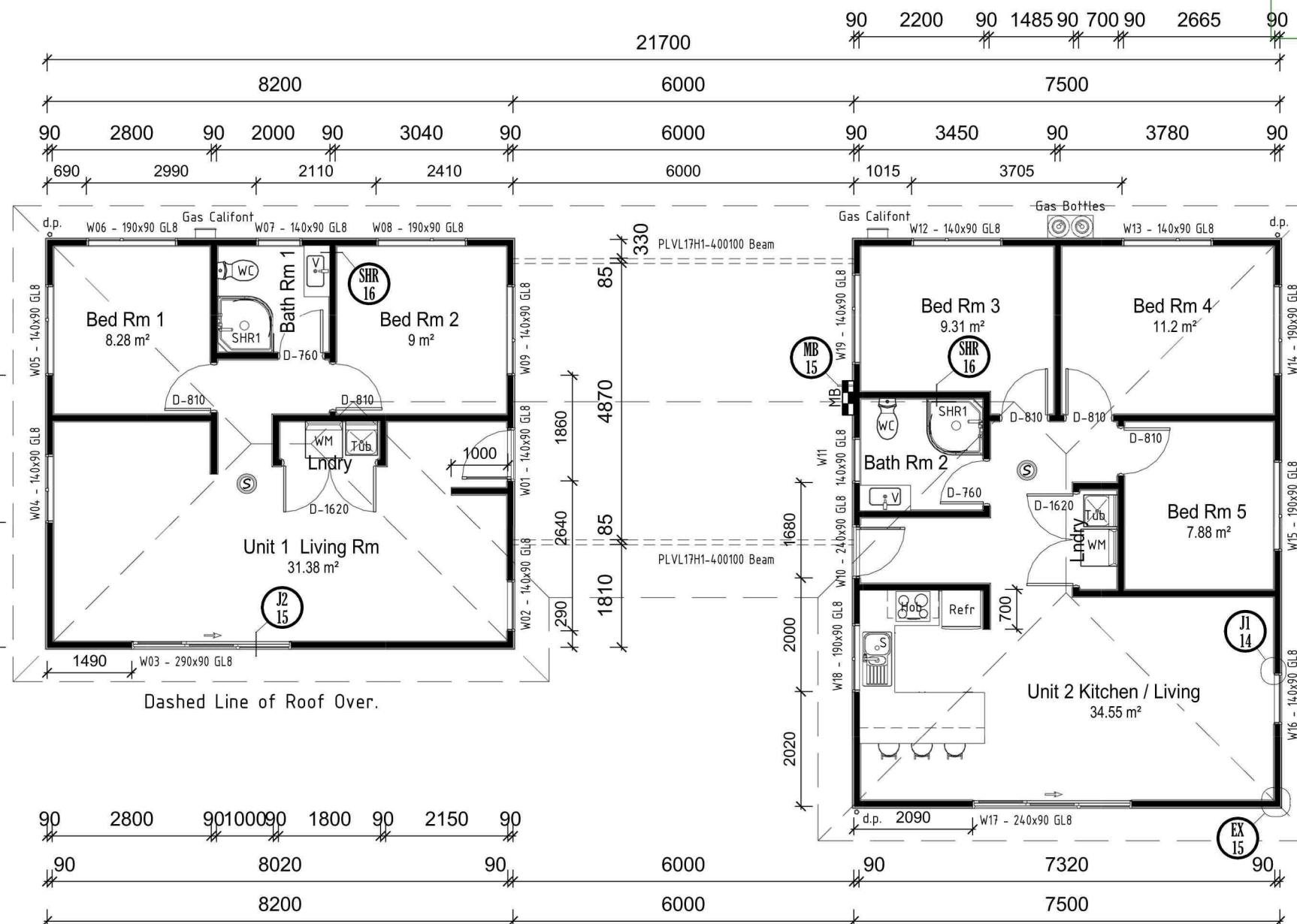
West Elev 03

CONSTRUCTION LEGEND.

- Internal wall.
- External Wall - Ply board & Batten over 20nom Cavity.

PROPOSED FLOOR PLAN

Scale 1:100



FLOOR AREA SCHEDULE - CLAD

DESCRIPTION	AREA (O/F) / FRAME /	PERIMETER (O/F) / FRAME /	CLAD THICKNESS /	AREA OVER CLAD /
Insitu Slab	58.88 m ²	30.76 m	25 mm	59.65 m ²
Insitu Slab	74.85 m ²	34.96 m	25 mm	75.72 m ²
	133.73 m ²	65.72 m		135.37 m ²

J B H Draughting Ltd.

Cell | 0226073408

Email | jbhdraughting@hotmail.co.nz

G.F f.f.l	0.000 m
G.F T.P.	2.440 m

Project : PROPOSED NEW DWELLING for
Client : Andy Townsend
Address : 4 Temple Drive, Twizel

JOB # :
Lot3_Temple

Drawn By :
LBP 113870

Drw Name : FLOOR PLAN

DATE :
AUG 2019

NOTE : do not scale
from this drawing.

SCALE @ A3 Sht.
As indicated

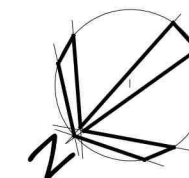
Builder.

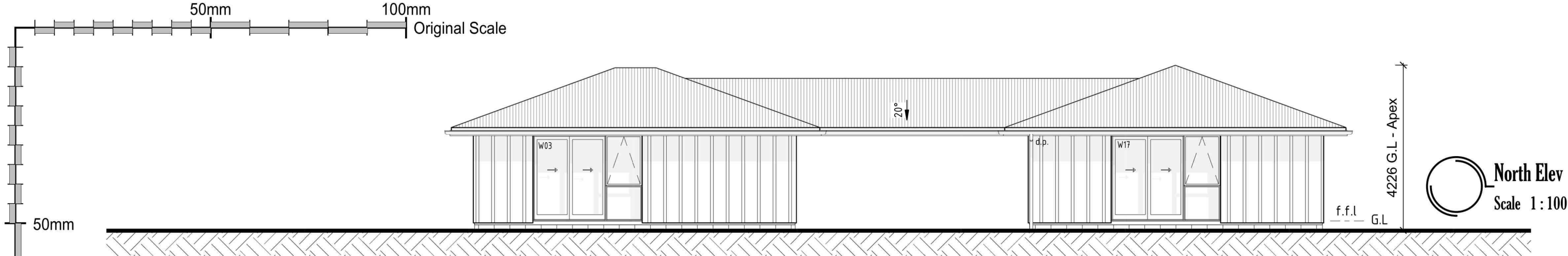
REV #
A

Client.

DRW #
02

Approved - BC 190237 | Mackenzie District Council





CLAD TO GROUND CLEARANCE NOTES.

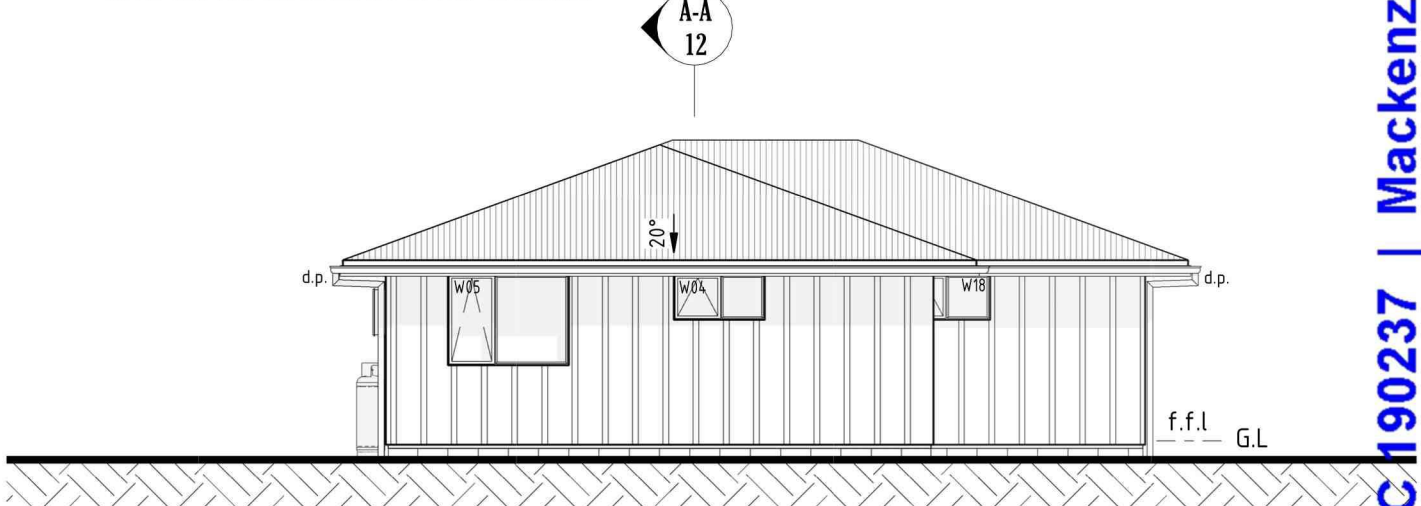
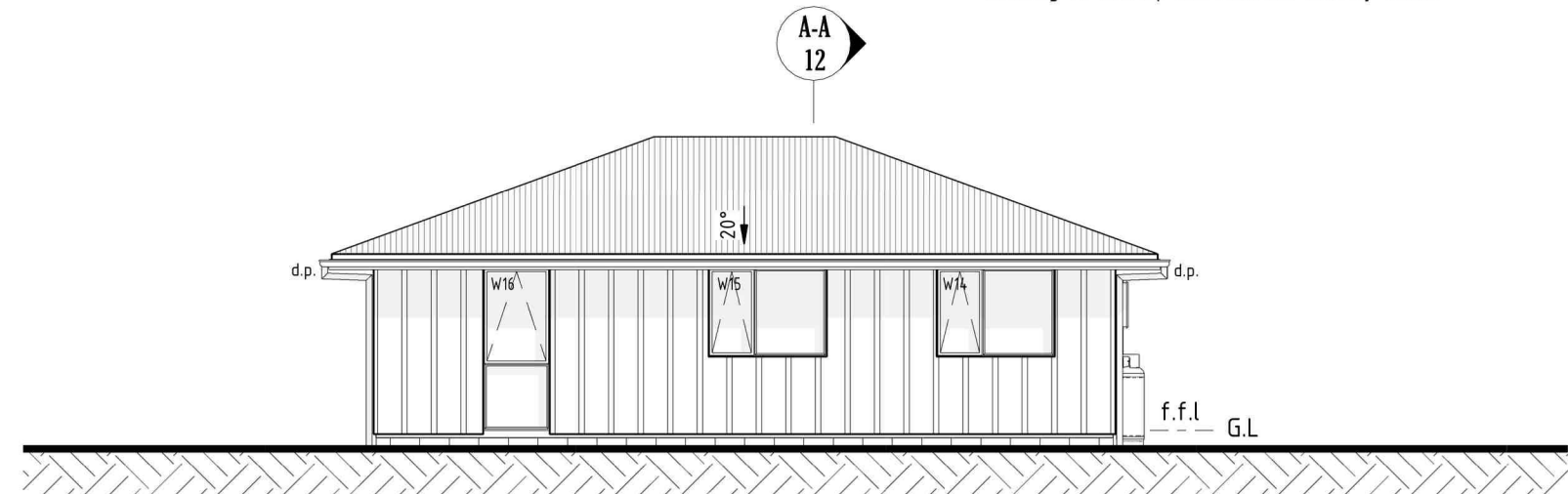
f.f.l shall be 150min above crown of road on at least one cross section through the building and road way, or for sites below the road 150min above the lowest point on the Site Boundary.
Excavate locally around perimeter of building, ground to fall away from building not less than 1 in 25 for a minimum distance of 1000mm.
Cladding adjacent to permanent paving - 150min from f.f.l to F.G.L
Allow for 100min between base of cladding and permanent paving.
Cladding adjacent to unprotected ground - 225min from f.f.l to F.G.L
Allow for 175min between base of cladding and Unprotected ground.
Cladding to overlap the concrete slab by 50min.

BUILDING ENVELOPE RISK MATRIX.

Risk Factor -	Risk -	Score -	Comments -
Wind Zone -	Extra High Risk	2	Extra High Wind Zone.
Number of storeys -	Low Risk	0	One Storey.
Roof/wall design -	Low Risk	0	Fully Protected.
Eaves width -	Low Risk	0	600mm single storey.
Envelope complexity -	Low Risk	0	Single cladding.
Deck design -	Low Risk	0	Nil.

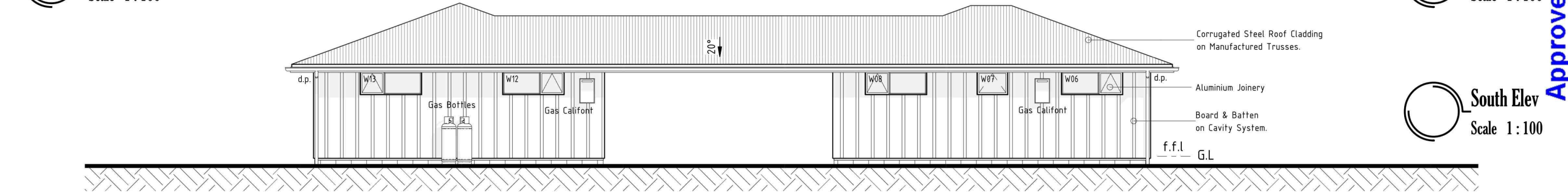
Total risk score - 2

NOTE: This risk matrix covers all four elevations.



West Elev
Scale 1:100

East Elev
Scale 1:100



South Elev
Scale 1:100

Approved - BC 190237 | Mackenzie District Council

J B H Draughting Ltd.
Cell | 0226073408
Email | jbhdraughting@hotmail.co.nz

Project : PROPOSED NEW DWELLING for Client : Andy Townsend Address : 4 Temple Drive, Twizel	JOB # : Lot3_Temple Drawn By : LBP 113870	Drw Name : ELEVATIONS DATE : AUG 2019	NOTE : do not scale from this drawing.	SCALE @ A3 Sht. As indicated	Builder. REV # A	Client. DRW # 03
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Appendix 3 – Residential Visitor Accommodation Management Plan

Residential Visitor Accommodation - Activity Management Plan

This Activity Management Plan applies to the use of 4 Temple Drive, Twizel, for use as Residential visitor accommodation in accordance with resource consent RM *[to be completed]*.

1.0 Property Manager Details

The Property Manager of this accommodation is: *[To be confirmed]*

Phone:

Email:

2.0 Property Manager Responsibilities

The Property Manager will have the following responsibilities:

Upon guest check-in:

- To provide the guests with a copy of the House Rules.
- To check that the number of guests does not exceed twelve at any one time.
- To check that the on-site compendium contains a copy of the House Rules and a copy of the relevant conditions of resource consent RM *[to be completed]*.

Upon on servicing and other visits:

- Put rubbish bins out on the correct bin day (the blue glass bin and green waste bin every week and the yellow and red bin on alternate weeks) and bring them back in as soon as possible after being emptied.
- To check that the number of guests does not exceed twelve.

Prior to activity commencing the activity, the Property Manager will provide their contact details to the adjoining landowners.

3.0 House Rules

- There shall be no more than twelve guests stay overnight at the property.
- Any outdoor noise generated must comply with the District Plan's noise standards.

- Any noisy activities should only occur inside after 10pm with windows and doors closed.
- No parties.
- No pets.
- Be courteous of neighbours.
- Guest shall park vehicles on-site.

4.0 Complaints Procedures

Should a complaint be received by the Property Manager from any neighbour, member of the public or organisation, the Property Manager shall evaluate the complaint and if reasonable:

- Phone or call into the house to investigate or address the complaint.
- If appropriate, advise the guests that they may be asked to leave the property if they are breaching the house rules or district plan standards or be excluded from future stays at the accommodation.
- Keep a record of all complaints, the reason for the complaint and what actions were taken to address the complaint, if necessary.
- The Complaints Register shall be made available to the Mackenzie District Council on request.

5.0 Signs

- A sign will be placed on any door leading to the outdoor area stating, "This outdoor area is not to be used between 10pm and 7am daily".

Appendix 4 - Flood Hazard Assessment

12 August 2025

Mark Geddes (Perspective Consulting)
79 Orbell Street Highfield
Timaru, Canterbury 7910
New Zealand

75 Church Street
PO Box 550
Timaru 7940
P. 03 687 7800
F. 03 687 7808
E. ecinfo@ecan.govt.nz
Customer Services
P. 0800 324 636
www.ecan.govt.nz

Dear Mark

**Flood Hazard Assessment – New Build
4 Temple Drive, Twizel
Lot 3 DP 523429, Valuation No: 25313-007-76**

This 0.3-ha property is located on the south side of Temple Drive, roughly 120 metres from the intersection with Ostler Road. The property slopes steadily from north to south with the rear boundary 600-800 mm lower than the road boundary. You propose a new residential dwelling located towards the southern property boundary.

Modelling completed by Environment Canterbury in 2023 (Report No R23/23) shows that the property and surrounding area are not vulnerable to flooding from any river or major stream. However, the property may receive runoff flooding due to local runoff during extreme rainfall events (50-year Average Recurrence Interval (ARI) events and greater). This flooding will be shallower at the Temple Drive end of the property but deeper where the land falls away toward the south boundary (and where the proposed site is situated).

Note: Average Recurrence Interval (ARI) represents the average period between floods of a certain size.

The modelling indicates that in extreme rainfall events (such as the 500-year ARI rainfall event) depths may reach as much as 400 mm in the lower half of the property.

The Operative Mackenzie District Plan requires the minimum height of new dwellings to be 150 mm above the expected 500-year ARI flood level. Under Plan Change 28, part of Stage 4 of the Mackenzie District Plan Review (notified 24 July 2025) this rule has been amended and has immediate legal effect with NH-S1 which requires the following:

- **Whether or not the activity is located on land that is within a High Flood Hazard Area; and**
- **A minimum finished floor level for any new building or extension (or part thereof) that is 300mm above the 500-year ARI flood event level.**

We note that this subdivision area also has specific conditions which you have noted on your provided site plan under “Floor height Setout”. That states the “Slab Height to be set at the highest of the below requirements”:

- **Floor level to be 150 mm min above crown of road**
- **Floor level to be 225 mm min above finished ground height**
- **Floor level height set out to ensure sewer falls to street connection. Drainlayer to confirm required height on site prior to any construction.**

Contact: Oliver Hermans
Key Ref: 25162

Environment Canterbury assess that the highest of those requirements as stated on your plan for the floor height is likely to be comfortably higher than expected flood levels in the design event as per the Mackenzie District Plan and therefore, we make no further floor recommendation here.

For example, a floor height that is 150 mm above the crown of the road may be at about 700 – 800 mm above natural existing ground level at the proposed site due to the slope in the land from the road to the south.

Overall, flooding at the property can be described as “low risk” and it does not meet the definition of high hazard.

Predicting site-specific flooding is not an exact science and requires many assumptions. The proposed site chosen does appear to be in a relatively contiguous lower area of ground that may be prone to moderate flooding in extreme rainfalls. Additional elevation of the floor to meet the specific requirements of this subdivision will provide an increased level of protection against the risk of floodwaters ever affecting the dwelling.

When using the flood information provided in this letter it is important the following points are understood:

- The information provided is the best information Environment Canterbury has at this time. The District Council or local residents may have further information about flooding at the property.
- Environment Canterbury’s understanding of flooding at the property may change in the future as further investigations are carried out and new information becomes available.
- It is assumed that flood protection works will be maintained to at least their current standard in the future.
- Flooding can occur in smaller floods if stopbanks are breached at lower than design flows. A breach can occur through lateral or internal erosion of the stopbank. The location of a stopbank breach or overtopping may affect flood depths at the property.
- Flood flow paths and depths can be affected by changes on the floodplain such as:
 - Altering swales, roads, or irrigation features
 - Property development including buildings, fencing and hedges
 - Blockages in culverts, drains and bridges
 - Seasonal vegetation growth
 - Antecedent soil moisture conditions

The prediction of flood depths requires many assumptions and is not an exact science.

I hope this information is of assistance. Please do not hesitate to contact me if you require any clarification.

Yours sincerely



Oliver Hermans

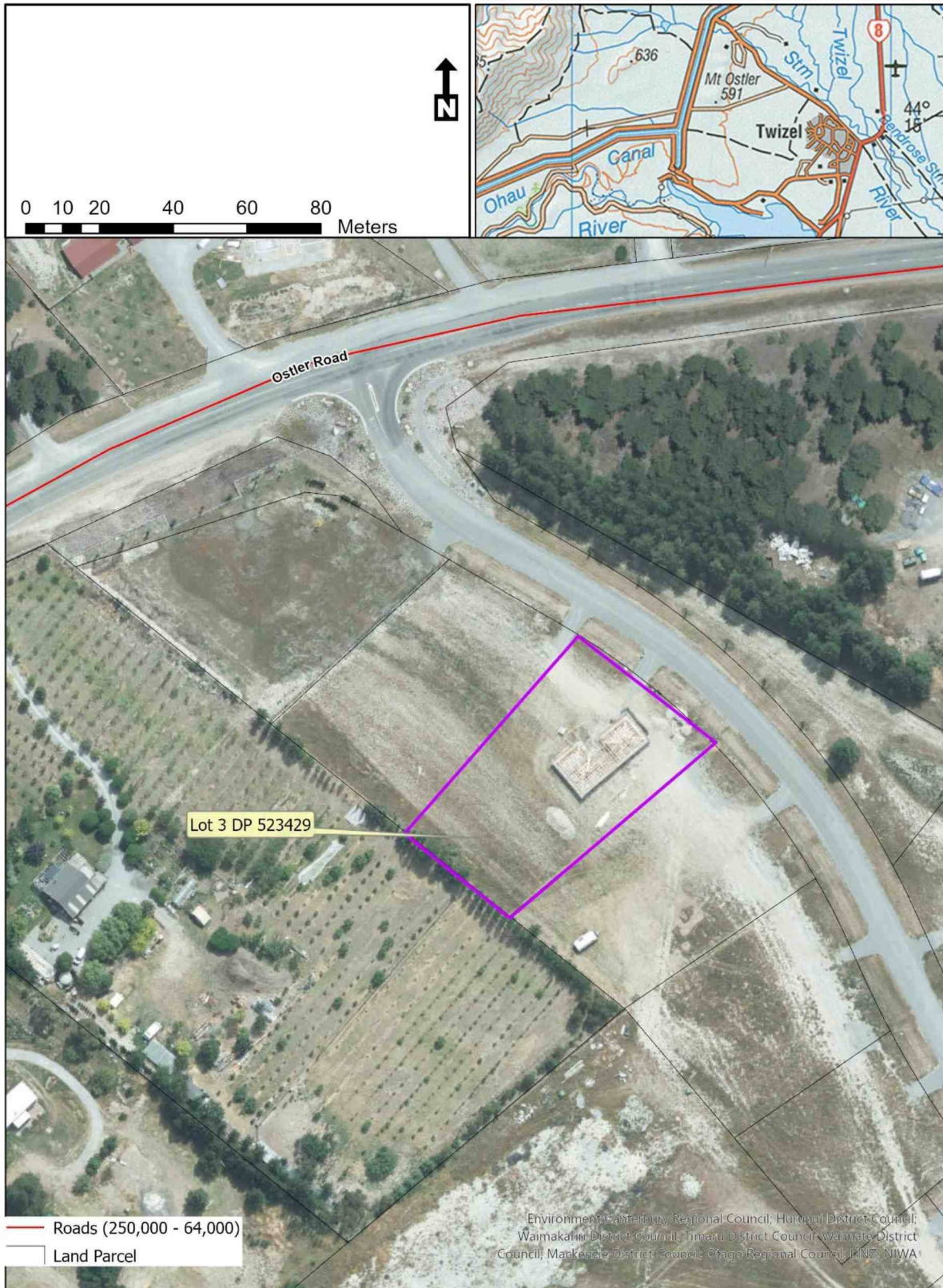
Scientist (Natural Hazards)

cc: planning@mdc.govt.nz
Mackenzie District Council

Attachments:

- Topographic map showing location of the property.
- Aerial photograph of the property
- Scheme Plan (Provided by Applicant)

4 Temple Drive, Twizel - Aerial



SITE DETAILS

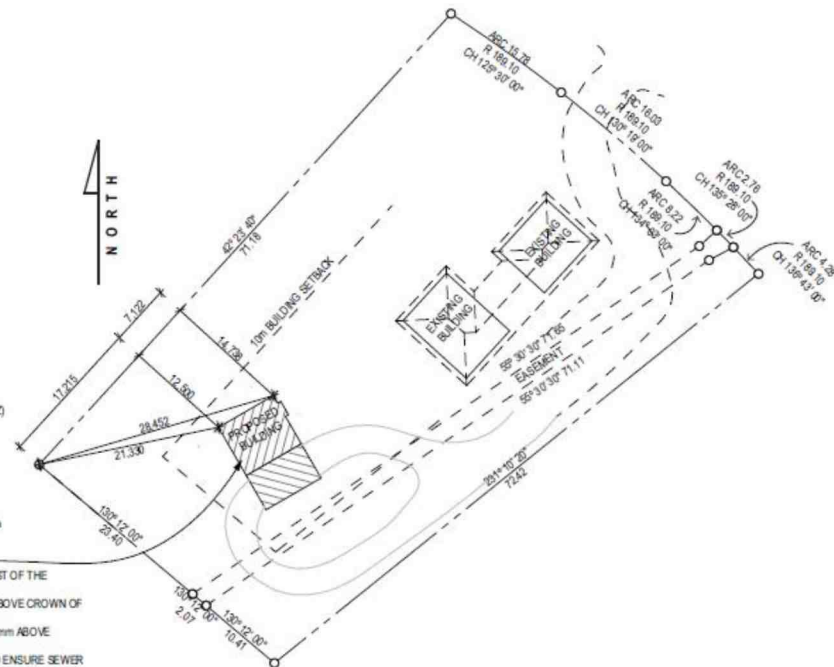
Site Address: 4 Temple Drive, Twizel
Legal Description: Lot 3 DP 523429
Valuation Number: 25313 00776
Parcel ID: 7521147
Site Area: 2990 m²

Region: Mackenzie District Council
Zone: Large Lot Residential Zone (LLRZ)

Climate Zone: 6
Earthquake Zone: Zone 2
Exposure Zone: Zone B
Lee Zone: Yes
Rainfall Range: 30 - 40
Wind Region: A
Wind Zone: Specific Engineering Design

FLOOR HEIGHT SETOUT

SLAB HEIGHT TO BE SET TO HIGHEST OF THE BELOW REQUIREMENTS:
- FLOOR LEVEL TO BE 150mm MIN ABOVE CROWN OF ROAD.
- FLOOR LEVEL TO BE MINIMUM 225mm ABOVE FINISHED GROUND HEIGHT.
- FLOOR LEVEL HEIGHT SET OUT TO ENSURE SEWER FALLS TO STREET CONNECTION. DRAINLAYER TO CONFIRM REQUIRED HEIGHT ON SITE PRIOR TO ANY CONSTRUCTION.



DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS AND SITE LEVELS MUST BE CONFIRMED ON SITE BEFORE THE BUILD COMMENCES.



reaarchitecture.co.nz
contact@reaarchitecture.co.nz
021 87 56 87

CLIENT: TOWNSEND
ADDRESS: 4 TEMPLE DRIVE, TWIZEL
DRAWING: SITE PLAN

DATE: 12 JUNE 2025
SCALE: AS SHOWN ON A3
SHEET: A201