



Mackenzie

DISTRICT PLAN REVIEW

TOMORROW'S MACKENZIE
KA AWATEA HŌU

**Plan Change 30 Part A
Accommodation Special Purpose Zone, Pūkaki
Downs Special Purpose Zone and Pūkaki
Village Special Purpose Zone
Variation 2 to Plan Change 23
Variation 3 to Plan Change 26
Variation 3 to Plan Change 27**

Decision Report

24 July 2025

List of submitters addressed in this report:

Submitter Ref	Further Submitter Ref	Submitter Name	Abbreviation
PC30.01	FS05	Pukaki Tourism Holdings Ltd Partnership & Pukaki Village Holdings Ltd	PTHL and PVHL
PC30.04	FS06	Tekapo Landco Ltd & Godwit Leisure Ltd	TLGL
PC30.08		Heritage New Zealand Pouhere Taonga	HNZPT
PC30.11	FS13	Director-General of Conservation	DOC
PC30.12		NZ Transport Agency Waka Kotahi	NZTA
PC30.13		Canterbury Regional Council	CRC
PC30.14		Nova Energy Limited	Nova

Abbreviations used in this report:

Abbreviation	Full Text
ASPZ	Accommodation Special Purpose Zone
BDA	Built Development Area
Council	Mackenzie District Council
LMA	Land Management Area
MDP	Mackenzie District Plan
MDPR	Mackenzie District Plan Review
ODP	Outline Development Plan
PC30	Plan Change 30
PDSPZ	Pūkaki Downs Special Purpose Zone
PVSPZ	Pūkaki Village Special Purpose Zone
RMA	Resource Management Act 1991
SNA	Significant Natural Area
SONS	Site of Natural Significance
SPZ	Special Purpose Zone
V2PC23	Variation 2 to Plan Change 23
V3PC26	Variation 3 to Plan Change 26
V3PC27	Variation 3 to Plan Change 27

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1. Purpose of Report

1. Pursuant to section 43(1) of the Resource Management Act 1991 (RMA), the Mackenzie District Council (MDC) has appointed a combined Hearings Panel of three independent commissioners¹ to hear and decide the submissions and further submissions on Plan Change 30 Part A addressing:
 - Accommodation Special Purpose Zone
 - Pūkaki Downs Special Purpose Zone
 - Pūkaki Village Special Purpose Zone
 which all form part of the Mackenzie District Plan Review (MDPR).
2. The Decision Report sets out the Hearings Panel's decisions on the submissions and further submissions received on Plan Change 30.
3. The initial Section 42A Report for PC30 Part A were:
 - Section 42A Report Part A: Plan Change 30 – Accommodation Special Purpose Zone, Pūkaki Downs Special Purpose Zone and Pūkaki Village Special Purpose Zone; Variation 2 to Plan Change 23; Variation 3 to Plan Change 26; Variation 3 to Plan Change 27, Report on submissions and further submissions. Author: Emma Spalding. Date: 24 April 2025.
 - Section 42A Report Part A: Plan Change 30 – Accommodation Special Purpose Zone, Pūkaki Downs Special Purpose Zone and Pūkaki Village Special Purpose Zone; Variation 2 to Plan Change 23; Variation 3 to Plan Change 26; Variation 3 to Plan Change 27, Reply Report. Author: Emma Spalding. Date: 19 June 2025
4. In our Minute 6 dated 7 May 2025 we posed a number of questions to Ms Spalding (the Section 42A Report author). We received written answers to those questions².
5. The Hearing Panel's amendments to the notified provisions of PC30 Part A are set out in Appendix 1. Amendments recommended by Ms Spalding that have been adopted by the Hearing Panel are shown in ~~strike-out~~ and underlining. Further or different amendments made by the Hearing Panel are shown in **red font** as ~~strike-out~~ and underlining.
6. There are no amendments to the District Plan planning maps.

2. Hearing and Submitters Heard

7. There were 18 primary submissions and 14 further submissions on PC30 Part A. Of these, three submissions relate to the ASPZ, six relate to PDSPZ and five relate to PVSPZ.
8. Further submissions are generally not discussed in this Decision, because they are either accepted or rejected in conformance with our decisions on the original submissions to which they relate.
9. The Hearing for PC30 was held in Fairlie and Twizel over the period Tuesday 27 May 2025 to Thursday 29 May 2025. The three submitters and further submitters set out below were heard:

Submitter Ref	Submitter Name
PC30.04 FS06	Tekapo Landco Ltd & Godwit Leisure Ltd
PC30.08	Heritage New Zealand Pouhere Taonga
PC30.13	Canterbury Regional Council

¹ Megan McKay, Ros Day-Cleavin and Rob van Voorthuysen.

² PC30 Section 42A Report Author's Response to Hearings Panel Questions, 20 May 2025.

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10. The individuals we heard from are listed in Appendix 2. Three submitters tabled evidence but did not appear at the Hearing and they are also listed in Appendix 2.
11. Copies of all legal submissions and evidence (either pre-circulated or tabled at the Hearing) are held by the MDC. We do not separately summarise that material here, but we refer to or quote from some of it in the remainder of this Decision. We record that we considered all submissions and further submissions, regardless of whether the submitter or further submitter appeared at the Hearing.
12. We received opening legal submissions from MDC's legal counsel Michael Garbett who addressed the statutory framework.
13. We also received 'overview' evidence from Julie-Anne Shanks regarding the current stage of the MDPR, the PCs notified as part of Stage 4 of the MDPR and their integration with existing operative District Plan provisions.

3. Our Approach

14. We have decided to structure this Decision in the following manner.
15. Ms Spalding's Section 42A Report sequentially addressed the submissions under the following topic-based headings:
 - Accommodation Special Purpose Zone
 - Pūkaki Downs Special Purpose Zone
 - Pūkaki Village Special Purpose Zone
 - Variations and Consequential Changes
16. For the ease of readers of this Decision, we have adopted the same approach here and mimic the headings used in the Section 42A Report.
17. The submissions received on the provisions covered by each of these headings were summarised in the Section 42A Report. We adopt those summaries, but do not repeat them here for the sake of brevity.
18. Where, having considered the submissions and the submitters' evidence and legal submissions, we nevertheless accept Ms Spalding's final recommendations, we state that we adopt her assessment and recommendations as our reasons and decisions. Where we disagree with Ms Spalding's final recommendations, we set out our own reasons based on the evidence received and state our decisions on the relevant submissions.
19. The consequence of our approach is that readers of this Decision should also avail themselves of the Section 42A Report listed in paragraph 3 above.

3.1 Statutory Framework

20. We adopt the statutory framework assessment set out in section 6 of the Section 42A Report. We note that to be consistent with the framework described by Mr Garbett in paragraphs 5 and 6 of his opening legal submissions.

3.2 Uncontested Provisions and Supporting Submissions

21. Table 1 of the Section 42A Report listed provisions within PC30 Part A, V3PC27 and V3PC27 which were either not submitted on, or where submitters sought their retention. Table 1 also listed the relevant submissions.
22. DOC (11.08) and Nova (14.03) supported the entire PDSPZ Chapter and sought no amendments.

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23. We have decided to accept the submissions listed in Table 1 of the Section 42A Report and DOC (11.08) and Nova (14.03) supporting submissions and we do not discuss those submissions further in this Decision. Consequently, the provisions listed in Table 1 of the Section 42A Report are retained as notified (unless a clause 10(2)(b) or clause 16(2) change has been made to them).

3.3 Section 32AA Assessments

24. Where we adopt Ms Spalding's recommendations, we also adopt her s32AA assessments. For those submissions we are satisfied that Ms Spalding's recommendations are the most appropriate option for achieving the purpose of the RMA, the relevant objectives of the District Plan and for giving effect to other relevant statutory instruments.
25. Where we differ from Ms Spalding's recommendations, we are required to undertake our own s32AA assessment at a level of detail that corresponds to the scale and significance of any changes we recommend to the notified District Plan provisions. In that regard we are satisfied that any such amendments are a more efficient and effective means of giving effect to the purpose and principles of the RMA and the higher order statutory instruments, for the reasons we set out in this Decision.

4. Consequential Changes

4.1 Assessment

26. Ms Spalding advised that PC30 Part A proposes to make consequential changes to various sections in the Operative District Plan (ODP), including:
- Deleting Section 9 and Appendix T;
 - Introducing abbreviations and adopting definitions in the Interpretation Chapter; and
 - Consequential changes to the Subdivision Chapter, Natural Character Chapter, Infrastructure Chapter, and Earthworks Chapter.
27. We agree with Ms Spalding that these amendments are minor in nature and will ensure consistency with the infrastructure and subdivision rules across the Pūkaki Special Purpose Zones and align with the Zone Objectives.

4.2 Decision

28. We adopt Ms Spalding's analysis and recommendation as our reasons and decisions.

5. Pūkaki Downs Special Purpose Zone – PDSPZ-P1

5.1 Assessment

29. PTHL and PVHL (01.04) supported PDSPZ-P1 but sought correction of a drafting error, while NZTA (12.06) supported it in part and requested an additional clause to address potential effects on State Highway 80. We accept Ms Spalding's analysis and recommendation to reinstate omitted wording in PDSPZ-P1(8) to promote public access linkages, and accept the NZTA submission in part, preferring revised wording for a new clause to ensure that the form and location of vehicle access off State Highway 80 maintains its safe and efficient operation.

5.2 Decisions

30. We adopt Ms Spalding's assessment and recommendations as our reasons and decisions.
31. Our amendments to PDSPZ-P1 are set out in Appendix 1.

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6. Rules (note for Plan users), PDSPZ-R1 and PDSPZ-MD4

6.1 Assessment

32. CRC (13.21) supported the PDSPZ rules as notified, as did PTHL and PVHL (01.05), who also sought clarification of the PDSPZ rules note, to align it with the Earthworks Chapter by specifying which earthworks rules apply (01.06). NZTA (12.07) requested an amendment to PDSPZ-R1 to refer to both the form and location of access off State Highway 80. HNZPT (08.01, 08.02) supported the reference to PDSPZ-MD4 in PDSPZ-R1, but sought an additional requirement to consult with HNZPT when assessing effects on historic heritage values.
33. Having considered the submissions and evidence, we accept Ms Spalding's analysis that:
- Clarifying that Earthworks Rules EW-R1 and EW-R2 apply within the PDSPZ improves Plan usability and consistency, and should be reflected through an amended advice note;
 - Including reference to the form as well as the location of access off State Highway 80 is sensible and necessary for proper assessment; and
 - Seeking mandatory consultation with HNZPT and additional wording in PDSPZ-MD4 is unnecessary as existing provisions sufficiently address heritage effects.
34. We further agree with her recommendation to delete the reference to standards EW-S1 to EW-S6 in the advice notes, as these are already cross-referenced in the relevant rules (PDSPZ-R10 and PVSPZ-R10), and to relocate the advice note in the Earthworks Chapter to sit under the "Rules" heading for better visibility, as a clause 16(2) amendment.

6.2 Decision

35. We adopt Ms Spalding's assessment and recommendations as our reasons and decisions.
36. Our amendments to the 'Note for Plan Users', PDSPZ-R1 and PDSPZ-MD4, and the Earthworks Chapter are set out in Appendix 1.

7. Figure PDSPZ-1: Structure Plan, PDSPZ-R1 and PDSPZ-MD5

7.1 Assessment

37. PTHL and PVHL (01.09) supported retaining the PDSPZ Structure Plan as notified, while DOC (11.09) sought amendments to prevent conflicts with conservation covenants and better protect the Pūkaki Scientific Reserve, highlighting potential encroachments and unassessed effects. In response, PTHL and PVHL (FS 05.01) clarified that most Built Development Areas (BDA) do not overlap with covenanted lands, and that the Outline Development Plan (ODP) process and covenants ensure protection of these values.
38. Having considered the submissions and evidence, we accept Ms Spalding's analysis that:
- DOC's concern about conservation covenants being overlooked during development is valid, and amending BDA3 boundaries to exclude overlapping covenant areas is appropriate to protect those values; and
 - Additional wording to PDSPZ-R1 and PDSPZ-MD5, which was circulated and supported by submitters, will ensure ecological effects on adjacent sites, including the Pūkaki Scientific Reserve, are considered during the ODP approval process.

7.2 Decision

39. We adopt Ms Spalding's assessment and recommendations as our reasons and decisions.
40. Our amendments to the Structure Plan, PDSPZ-R1 and PDSPZ-MD5 are set out in Appendix 1.

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8. Pūkaki Village Special Purpose Zone – General approach

8.1 Assessment

41. DOC (11.10, 11.11) supported the PVSPZ framework, particularly the Structure Plan and ODP for ecological protection, but questioned whether development for up to 1,000 people can protect biodiversity and sought a review of that density limit. Nova (14.02) and PTHL and PVHL (01.11) supported retaining the provisions as notified, with PTHL and PVHL emphasising that development is design-led rather than fixed by density, and that the provisions appropriately balance development and ecological values.
42. Having considered the submissions and evidence, we accept Ms Spalding's analysis that:
- The 1,000-person capacity limit was not carried forward from the Operative District Plan to avoid implementation challenges and potential misinterpretation as a target or permitted baseline; and
 - Amendments to PVSPZ-R1 and PVSPZ-MD5 requiring assessment of ecological effects both within and beyond the development site are appropriate and will ensure potential impacts on significant vegetation, habitats, and biodiversity are thoroughly considered and managed, especially given the zone's proximity to the Lake Pūkaki Terminal Moraine Conservation Area and adjoining SNAs.

8.1 Decision

43. We adopt Ms Spalding's assessment and recommendations as our reasons and decisions.
44. Our amendments to the PVSPZ-R1 and PVSPZ-MD5 are set out in Appendix 1.

9. PVSPZ-P1, Rules (note for Plan users) and PVSPZ-R1, PVSPZ-R6 and PVSPZ-S7

9.1 Assessment

45. PTHL and PVHL (01.13, 01.15, 01.16) requested corrections to a Plan user note to clarify the applicability of earthworks rules within PVSPZ and sought fixes for typographical errors in PVSPZ-R6 and PVSPZ-S7. NZTA (12.09, 12.10) sought amendments to PVSPZ policies and rules to manage development impacts on State Highway 80, including specific consideration of the form and location of vehicle access through the ODP process.
46. Having considered the submissions and evidence, we accept Ms Spalding's analysis that:
- The suggested amendment to the 'note for Plan users' in the rules section by PTHL and PVHL improves internal consistency, including deletion of the reference to Standards EW-S1 to EW-S6;
 - Minor typographical errors identified by PTHL and PVHL in PVSPZ-R6 and PVSPZ-S7 should be corrected to improve the Plan;
 - Including a clause in PVSPZ-P1 addressing the form and location of vehicle access off State Highway 80 is appropriate to maintain the highway's safe and efficient operation, with recommended wording adjustments to improve clarity and policy alignment; and
 - Including assessment of both the form and location of State Highway access in PVSPZ-R1 is sensible and aligns with standard planning practice involving NZTA consultation.

9.1 Decision

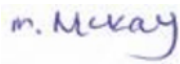
47. We adopt Ms Spalding's assessment and recommendations as our reasons and decision.

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48. Our amendments to the PVSPZ-P1, 'Note for Plan Users', PVSPZ-R1, PVSPZ-R6 and PVSPZ-S7, are set out in Appendix 1.



Rob van Voorthuysen (Chair)



Megan McKay



Ros Day- Cleavin

24 July 2025

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Appendix 1: Amended Provisions

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Appendix 2: Appearances

Sub. Ref	Submitter Name	Name	Role
PC30.04 FS06	Tekapo Landco Ltd & Godwit Leisure Ltd	Johnathan Speedy Kim Banks Richard Tyler	Development Manager Planner Landscape Architect
PC30.08	Heritage New Zealand Pouhere Taonga	Mitzie Bisnar	Planner
PC30.13	Canterbury Regional Council	Rachel Tutty Jolene Irvine Nick Griffith Helen Jack	Planner Team Leader – Rivers Planning Natural Hazards Scientist Natural Hazards Scientist

Tabled Evidence

	Submitter	Name	Role
PC30.01 FS05	Pukaki Tourism Holdings Ltd Partnership & Pukaki Village Holdings Ltd	Steven Tuck	Planner
PC30.11 FS13	Director-General of Conservation	Di Finn	Manager Operations
PC30.12	NZ Transport Agency Waka Kotahi	Jeremy Talbot	Principal Planner