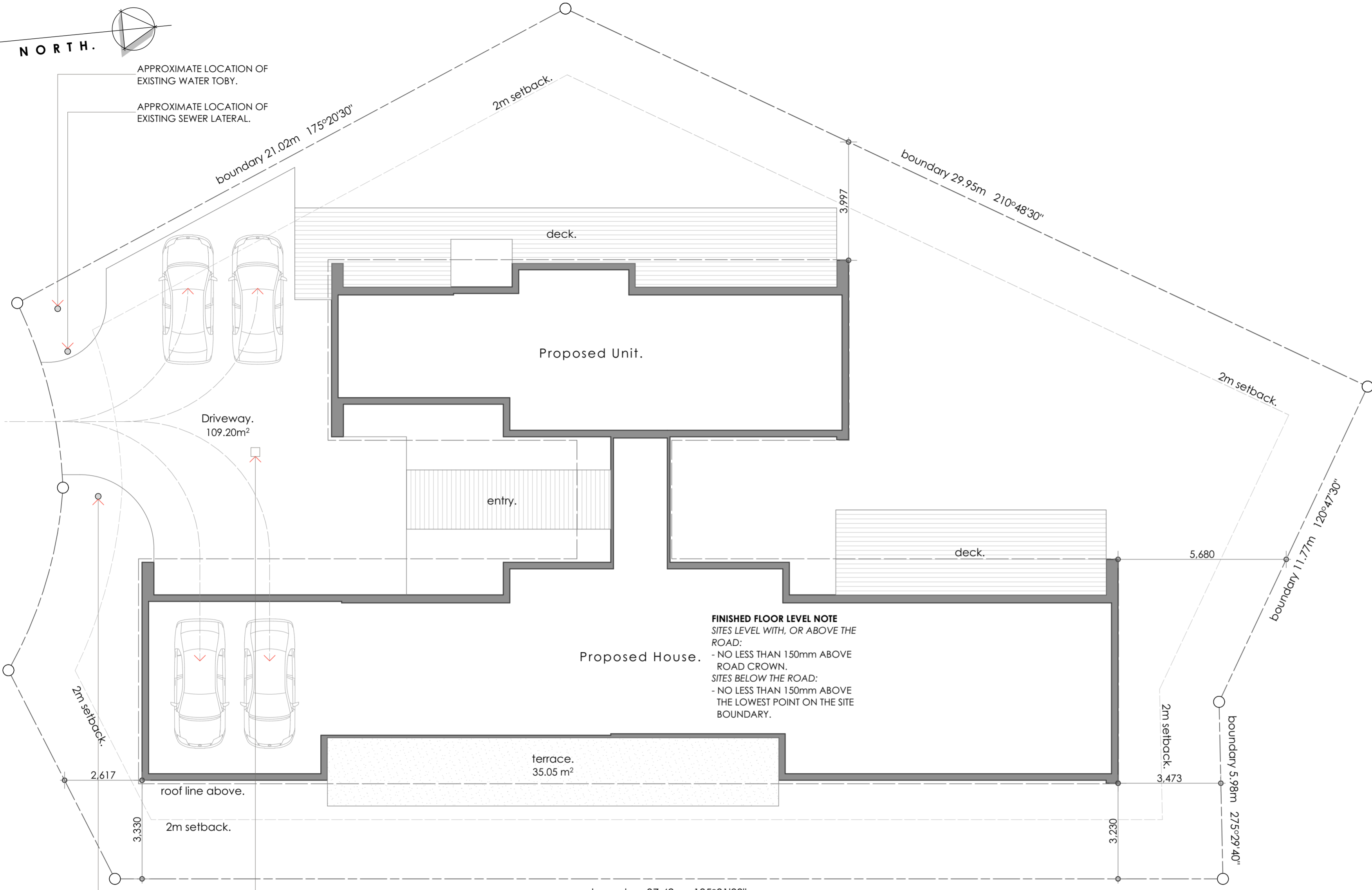


RODMAN LANE



APPROXIMATE LOCATION OF EXISTING WATER TOBY.
APPROXIMATE LOCATION OF EXISTING SEWER LATERAL.

Driveway.
109.20m²

FINISHED FLOOR LEVEL NOTE
SITES LEVEL WITH, OR ABOVE THE ROAD:
- NO LESS THAN 150mm ABOVE ROAD CROWN.
SITES BELOW THE ROAD:
- NO LESS THAN 150mm ABOVE THE LOWEST POINT ON THE SITE BOUNDARY.

TYPE 1 SURFACE WATER SUMP WITH 109m² CATCHMENT. FORM FALLS IN SEALED DRIVEWAY TO SUMP. REFER TO DETAIL 109 ON SHEET A4.1 FOR FURTHER DETAIL.
APPROXIMATE LOCATION OF EXISTING STORMWATER LATERAL.

NOTE: CONFIRM ALL INVERT LEVELS (WASTEWATER & STORMWATER) PRIOR TO CONFIRMATION OF FINISHED FLOOR LEVEL. CONTACT DESIGNER IF SUFFICIENT FALLS CAN NOT BE ACHIEVED.

Site Plan.
Scale 1:100
ALL DIMENSIONS ARE TAKEN TO FOUNDATION LINE

LEGAL DESCRIPTION:	
Lot 11 DP 518782 11 Rodman Lane LAKE TEKAPO Site Area: 998.00m ²	
TOTAL FOOTPRINT AREA: 274.59m ²	
BUILDING SITE COVERAGE: 274.59m ² / 998.00m ² = 27.51%	
TOTAL BUILDING/IMPERVIOUS SITE COVERAGE: 418.84m ² / 998.00m ² = 41.97%	
WIND ZONE - EXTRA HIGH EARTHQUAKE ZONE - 2 SNOW ZONE - N4 ALTITUDE - 750m SNOW LOAD - 2.29kPa EXPOSURE ZONE - B CLIMATE ZONE - 6	
LOW DENSITY RESIDENTIAL ZONE	

SITE FENCING NOTE:
2m high LINKMESH FENCING TO ALL ROAD BOUNDARIES TO KEEP THE PUBLIC FROM THE SITE DURING CONSTRUCTION TO COMPLY WITH NZBC SECTION F5.

SOAKPIT NOTES:
ALL SOAK PITS TO COMPLY WITH NZBC E1 SECTION 9.0.
ALLOW FOR FIELD TESTING TO TEST FOR SUITABILITY OF THE NATURAL GROUND TO RECEIVE AND DISPOSE OF THE WATER WITHOUT CAUSING DAMAGE OR NUISANCE TO NEIGHBOURING PROPERTIES.

- GENERAL SITE NOTES:**
1. THE IMPLEMENTATION AND MAINTENANCE OF SEDIMENT MANAGEMENT IS THE RESPONSIBILITY OF THE MAIN CONTRACTOR.
 2. CONTRACTORS SHALL UNLOAD AND LOAD ALL EXCAVATION MACHINERY ON THE SITE AND NOT FROM TRUCKS PARKED ON THE ROAD.
 3. THE CONTRACTOR IS TO MAKE AVAILABLE A HOSE FOR WASHING DOWN DELIVERY VEHICLES AND CONCRETE TRUCKS BEFORE THEY LEAVE THE SITE.
 4. DEMOLITION AND SITE CLEARANCE ACTIVITIES SHALL IDEALLY COMMENCE DURING A PERIOD OF FINE WEATHER TO REDUCE THE RISK OF SEDIMENT ESCAPING FROM THE SITE.
 5. EXISTING SUMPS SHALL BE PROTECTED WITH HAY BALES OR FILTER FABRIC.
 6. SOIL STOCKPILES SHALL BE COVERED WITH POLYTHENE SHEET AND HELD IN PLACE WITH LARGE ROCKS.
 7. ENSURE THAT ALL EXCAVATIONS FOR SERVICES ARE BACKFILLED AS SOON AS POSSIBLE.
 8. DOWNPIPES (TEMPORARY) IF NECESSARY ARE TO BE INSTALLED AND CONNECTED TO THE STORMWATER SYSTEM AS EARLY AS POSSIBLE ONCE THE ROOFING MATERIAL HAS BEEN INSTALLED.
 9. A HEALTHY VEGETATION BUFFER SHALL BE LEFT OVER AS MUCH OF THE SITE AS POSSIBLE.
 10. THE SITE IS TO BE KEPT CLEAN AND TIDY AT ALL TIMES.

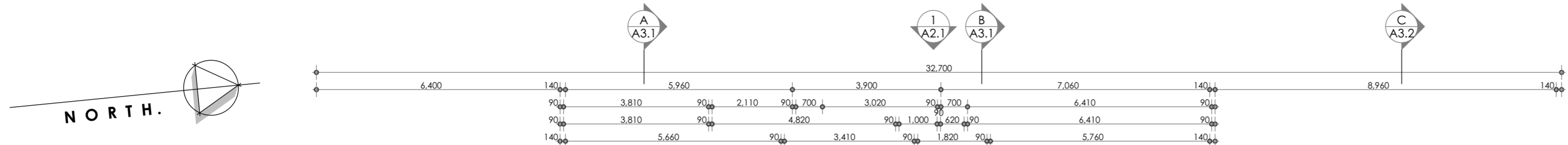
EXTERIOR COLOUR SCHEME:	
	- METALCRAFT KĀHU METAL ROOF and ROOFING INDUSTRIES SPANLOK WALL CLADDING. - ALL ASSOCIATED FLASHINGS. - EXTERIOR DOOR and WINDOW JOINERY. - GARAGE DOOR.
	- 10 series STACK BOND CONCRETE MASONRY BLOCK VENEER WALL CLADDING SYSTEM.

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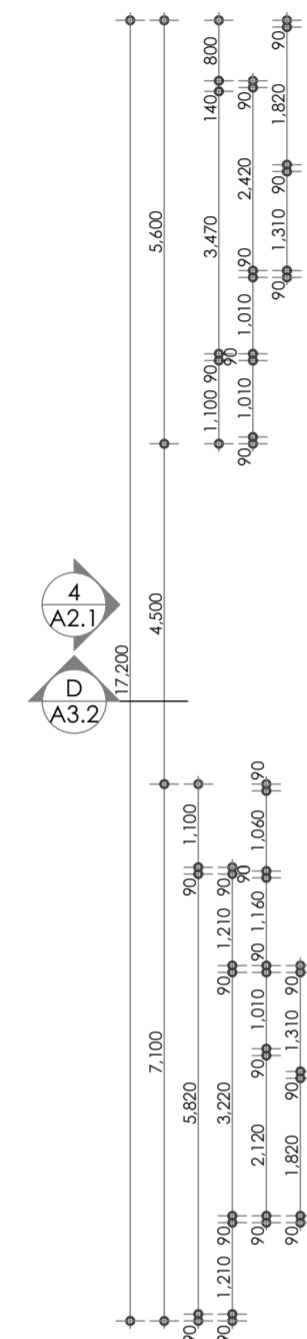


Proposed New House
Warburton Residence, 11 Rodman Lane, LAKE TEKAPO

drawing	scale	file	sheet	Issue
Proposed Site Plan	As shown. Sheet size A2.	24.058 27.06.25.	A1.1	Building Consent Issue - REV B
ALL MEASUREMENTS TO BE CONFIRMED ON SITE BEFORE COMMENCING ANY CONSTRUCTION.				



RHEEM 27L CONTINUOUS FLOW GAS HOT WATER HEATER SHOWN INDICATIVE ONLY. LOCATION TO BE CONFIRMED ON SITE WITH AN APPROVED INSTALLER.



GAS CYLINDERS SHOWN INDICATIVE ONLY. LOCATION TO BE CONFIRMED ON SITE WITH AN APPROVED INSTALLER.
NOTE: GAS LINE TO RUN THROUGH FLOOR SLAB TO UNIT AT INTERTENANCY WALL. DO NOT PENETRATE THROUGH INTERTENANCY WALL.



TIMBER DECKS EXEMPT UNDER THE BUILDING ACT and DO NOT FORM PART OF THIS BUILDING CONSENT. MAINTAIN 12mm min CLEARANCE FROM ALL CLADDINGS.

RANGEHOOD ABOVE, VENTED TO EXTERIOR THROUGH ROOF.

60/60/60 FRR GIB G8TLA60b TWO WAY INTERNAL INTERTENANCY WALL WITH 10mm GIB BRACELINE/NOISELINE TO EACH SIDE.

RANGEHOOD ABOVE, VENTED TO EXTERIOR THROUGH REAR SOFFIT.

RHEEM 27L CONTINUOUS FLOW GAS HOT WATER HEATER SHOWN INDICATIVE ONLY. LOCATION TO BE CONFIRMED ON SITE WITH AN APPROVED INSTALLER.

Ground Floor Plan.

Scale 1:100

HOUSE FLOOR AREA = 156.52m²
GARAGE FLOOR AREA = 38.87m²
UNIT FLOOR AREA = 79.20m²
TOTAL FLOOR AREA = 274.59m²

AREAS TAKEN FROM OVER FRAMING LINES and EXCLUDES EXTERIOR AREAS.

LEGEND:

- STUDS UP TO 2.7m:** 90x45mm H1.2 LVL8 @400max.crs.
- EXTERNAL SLIDING DOOR STUDS:** 140x45mm H1.2 LVL8 @600max.crs.
- INTERNAL NON-LOADBEARING STUDS:** 90x45mm H1.2 LVL8 @600max.crs.

ALL DWANGS @800max.crs GENERALLY.

SMOKE ALARM POSITIONS:
INTERCONNECTED SMOKE ALARM SYSTEM TO COMPLY WITH NZBC C/AS1 and F7/AS1. TO BE INSTALLED IN ACCORDANCE WITH NZS 4514:2021 and MANUFACTURERS INSTRUCTIONS.

EXTRACTION FAN POSITIONS: DUCTED TO EXTERIOR THROUGH SOFFITS.
KITCHEN: 50L/s
BATHROOM/LAUNDRY: 25L/s

LINTELS-BEAMS SHOWN BELOW:

- L1 140x90mm H1.2 GL8.
- L2 140x140mm H1.2 GL8.
- L3 190x90mm H1.2 GL8.
- L4 190x140mm H1.2 GL8.
- L5 240x90mm H1.2 GL8.
- L6 240x140mm H1.2 GL8.
- L7 290x90mm H1.2 GL8.
- L8 315x90mm H1.2 GL12.
- L9 360x90mm CHH hyONE.
- L10 2/290x45mm H1.2 SG8.
- L11 2/300x45mm CHH hySPAN.

wfs. WET-FLOOR SHOWER ENCLOSURES TO BE FORMED IN FLOOR. 1:50 GRADIENT FALLS TO SUIT WASTE LOCATIONS AS INDICATED.

sh. PROPRIETARY SHOWER TRAY AND ENCLOSURE.

NOTES:

ALL TIMBER TO BE H1.2 TREATED AND SG8 GRADED UNLESS STATED OTHERWISE.

TO BE READ IN CONJUNCTION WITH STRUCTURAL DESIGN LABS PLANS AND DOCUMENTATION.

TO BE READ IN CONJUNCTION WITH TRUSS MANUFACTURERS PLANS AND DETAILS.

ALL LINTELS-BEAMS INDICATED ARE SIZED IN ACCORDANCE WITH NZS 3604:2011.

FOR ALL EXTERIOR OPENING LOCATIONS REFER TO DOOR AND WINDOW OPENING SETOUT PLAN.

MAIN HOUSE BATH & ENSUITE:
WET AREAS TO BE LINED IN 10mm GIB AQUALINE PLASTERBOARD WALL LINING (9mm JAMES HARDIE VILLABOARD LINING 1,500mm FROM SHOWER ROSE AND 1,500mm RETURN WALL) WITH APPROVED WET AREA PAINT FINISH. FLOORS TO HAVE SELECTED SLIP RESISTANT TILED FLOOR COVERINGS. TILE FLOOR TO BE OVER ARDEX WPM001 WATERPROOFING SYSTEM. WATERPROOFING SYSTEM TO HAVE 150mm UPSTAND TO WALLS AND ARDEX WPM001 WATERPROOFING SYSTEM TO ALL JAMES HARDIE VILLABOARD WALLS TO SHOWER ENCLOSURES. HEIGHT 1,800mm min OR TO SUIT SHOWER SCREEN, WHICHEVER IS GREATER.

UNIT BATHROOM:
WET AREA TO BE LINED IN 10mm GIB AQUALINE PLASTERBOARD WALL LINING WITH APPROVED WET AREA PAINT FINISH. FLOORS TO HAVE SELECTED SLIP RESISTANT VINYL SHEET FLOORING (ALL JOINTS TO BE FULLY SEALED) and SEALED TO PINUS SKIRTING TO COMPLY WITH NZBC E3 SECTION 3.1.1(a).

ALL VINYL FLOORING EDGES and JOINTS TO BE FULLY SEALED AS PER NZBC E3/AS1 SECTION 3.1.1(a).

KITCHEN BENCHTOPS TO BE AN IMPERVIOUS MATERIAL ALLOWING FOR EASY CLEANING IN ACCORDANCE WITH NZBC G3/AS1 2.1.1. IMPERVIOUS and EASILY CLEANED SPLASH BACK TO BE INSTALLED BEHIND COOKTOP and EXTEND TO THE UNDERSIDE OF CABINETS and/or RANGEHOOD.

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Proposed New House
Warburton Residence, 11 Rodman Lane, LAKE TEKAPO

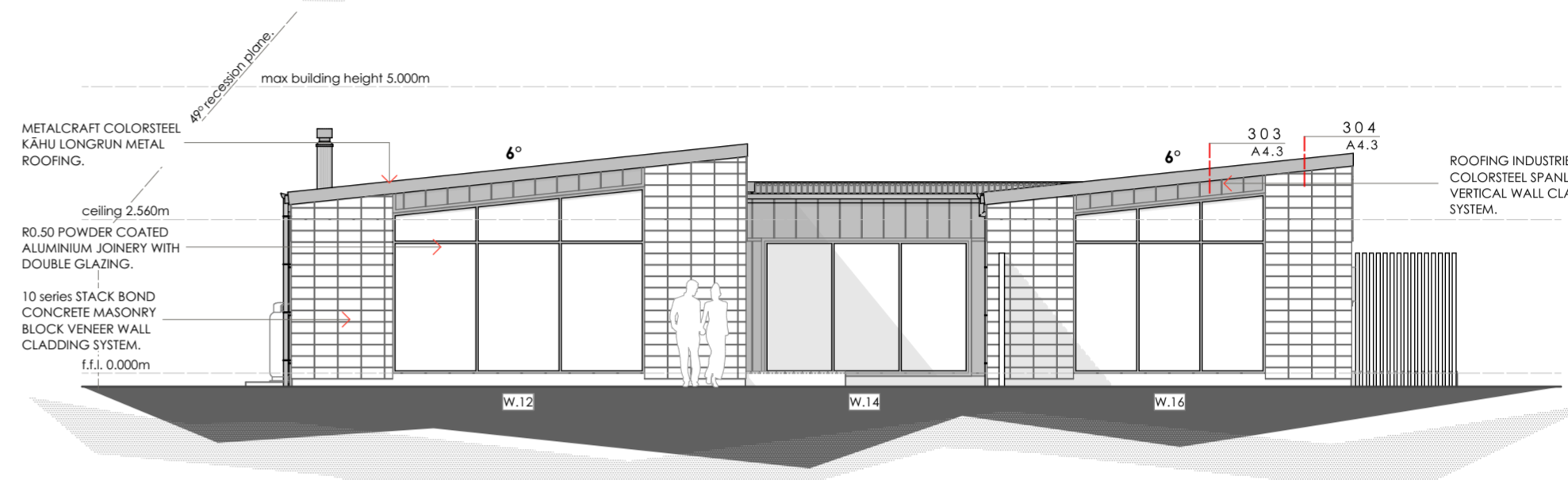
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Elevation 1.
 Scale 1:100

Risk Factor	Description	Risk	Score
Wind Zone	Extra High	H	2
Number of Storeys	Single Storey	L	0
Roof/Wall Intersection Design	Fully exposed (e.g. parapets, exposed boundaries or eaves at greater than 90 degrees to soffit lining)	H	3
Eaves Width	0-100mm wide	VH	5
Envelope Complexity	Moderately complex shape with no more than 2 cladding types.	M	1
Deck Design	Timber slat deck at ground floor level	L	0
		Total Score:	11

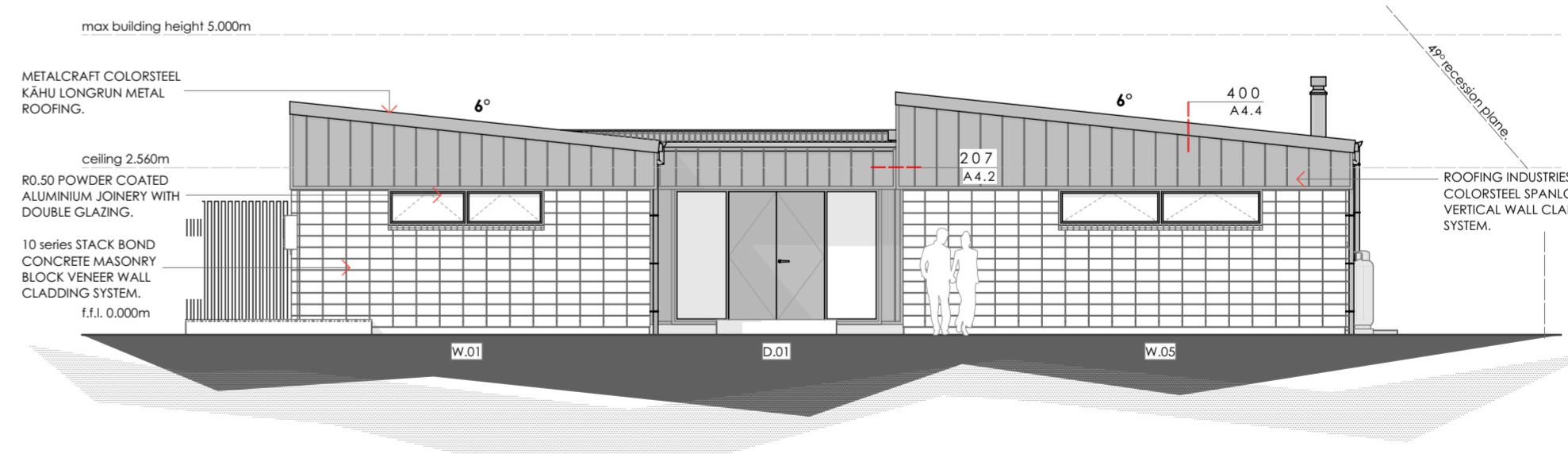
- Selected Claddings:**
- Masonry veneer over minimum 40mm drained cavity
 - Vertical ribbed profiled metal over 20mm drained cavity



Elevation 2.
 Scale 1:100



Elevation 3.
 Scale 1:100



Elevation 4.
 Scale 1:100

EXTERIOR COLOUR SCHEME:

- METALCRAFT KĀHU METAL ROOF and ROOFING INDUSTRIES SPANLOK WALL CLADDING.
- ALL ASSOCIATED FLASHINGS.
- EXTERIOR DOOR and WINDOW JOINERY.
- GARAGE DOOR.

COLORSTEEL 'MATT FLAXPOD' - LRV 7%

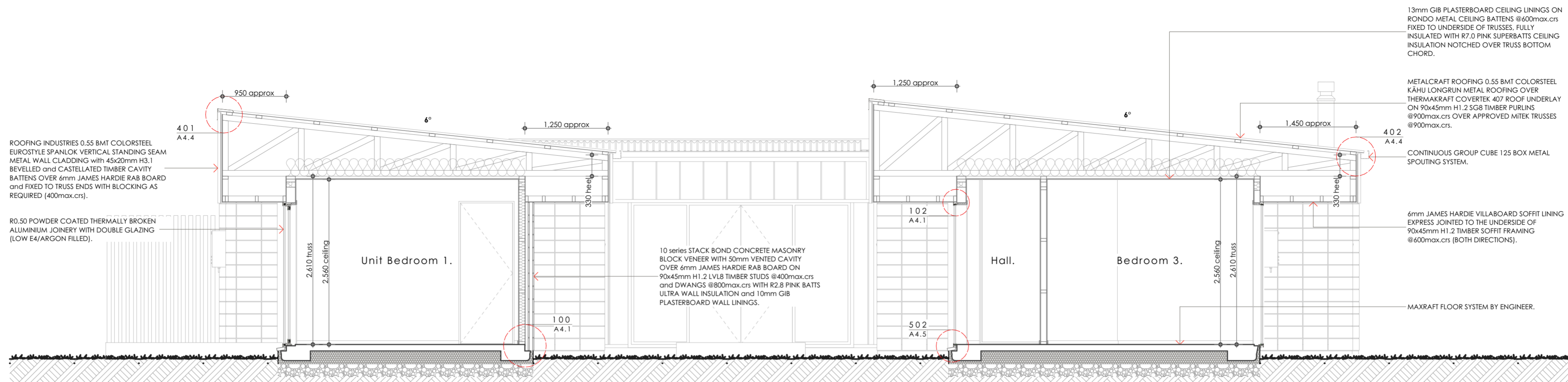
CHARCOAL

VIBLOCK 'HONED CHARCOAL' - LRV 10% APPROX

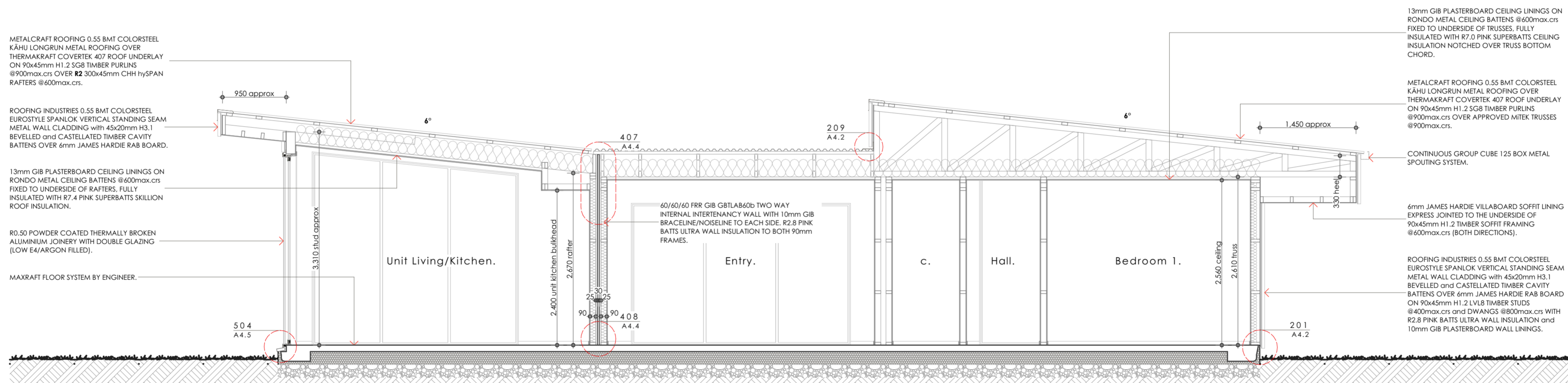


Proposed New House
 Warburton Residence, 11 Rodman Lane, LAKE TEKAPO

drawing Proposed Elevations
 scale As shown. Sheet size A2.
 file 24.058
 sheet A2.1
 issue Building Consent Issue - REV B
 ALL MEASUREMENTS TO BE CONFIRMED ON SITE BEFORE COMMENCING ANY CONSTRUCTION.

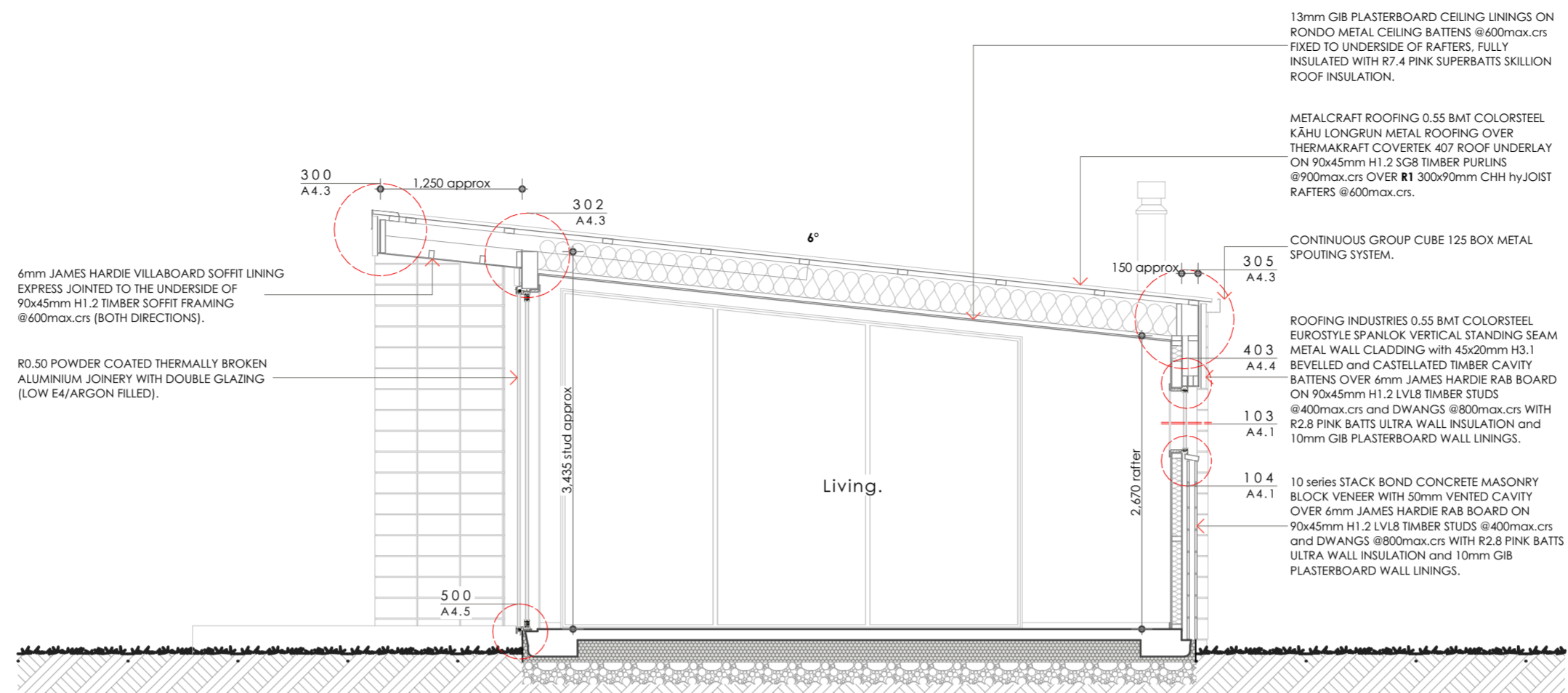


Cross Section A.
Scale 1:50

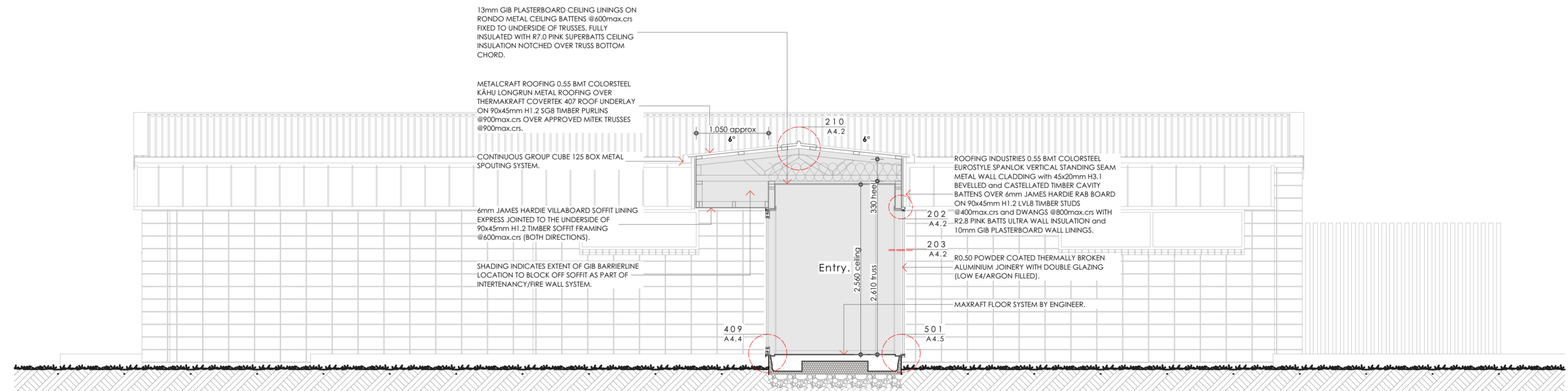


Cross Section B.
Scale 1:50

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Cross Section C.
Scale 1:50



Cross Section D.
Scale 1:50

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Opening Setout.
Scale 1:100

LEGEND:

LINTELS-BEAMS SHOWN BELOW:	
L1	140x90mm H1.2 GL8.
L2	140x140mm H1.2 GL8.
L3	190x90mm H1.2 GL8.
L4	190x140mm H1.2 GL8.
L5	240x90mm H1.2 GL8.
L6	240x140mm H1.2 GL8.
L7	290x90mm H1.2 GL8.
L8	315x90mm H1.2 GL12.
L9	360x90mm CHH hyONE.
L10	2/290x45mm H1.2 SG8.
L11	2/300x45mm CHH hySPAN.

LINTEL FIXINGS SHOWN BELOW:	
F	Type F. 4.0kN connection.
G	Type G. 7.5kN connection.
H	Type H. 13.5kN connection.

NOTES:

ALL LINTELS-BEAMS INDICATED ARE SIZED IN ACCORDANCE WITH NZS 3604:2011.

ALL TOP PLATES SUPPORTING ROOF STRUCTURE ARE TO BE FIXED IN ACCORDANCE WITH NZS 3604:2011. CLAUSE 8.7.6 AND TABLE 8.18. THIS PROJECT: 4.7kN CONNECTION, 2/90x3.15 END NAILS AND 2/ WIRE DOGS or 4.7kN ALTERNATIVE ALL TRUSS FIXINGS ARE AS PER TRUSS MANUFACTURERS DESIGN.

ALL LINTELS SUPPORTING ROOF STRUCTURE ARE TO BE FIXED AGAINST UPLIFT IN ACCORDANCE WITH LUMBERLOK LINTEL FIXING SCHEDULE.

ALL OTHER LINTELS TO BE FIXED IN ACCORDANCE WITH NZS3604:2011 TABLE 8.19. 3/90x3.15 NAILS END NAILED.

ALL ALUMINIUM JOINERY SHALL BE CONSTRUCTED IN ACCORDANCE WITH NZS 4211:2008 & NZS 3504:1979. TO SUIT LOCATION. ALL GLAZING SHALL BE IN ACCORDANCE WITH NZS 4223.3:2016.



Proposed New House
Warburton Residence, 11 Rodman Lane, LAKE TEKAPO

drawing	scale	file	sheet	Issue
Proposed Opening Setout Plan	As shown. Sheet size A2.	24.058	A5.1	Building Consent Issue - REV B
ALL MEASUREMENTS TO BE CONFIRMED ON SITE BEFORE COMMENCING ANY CONSTRUCTION.				

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